



STAFF REPORT

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May 4, 2015

AGENDA ITEM (File No. 15012)

Consideration of a Site Plan and Architectural Review application for a congregate housing development consisting of 19 independent living cottages and pool house on Lot 33 in Twin Creeks Crossing I. The 1.81 acre site is zoned LMR and is identified by the Jackson County Assessor's Map as 37 2W 03CA, Tax Lot 1200. The project site is located within the Twin Creeks Master Plan area. **Applicant:** Twin Creeks Retirement, LLC; **Agent:** Herb Farber, Farber Surveying.

SOURCE

Stephanie Holtey, Community Planner II

BACKGROUND

Twin Creeks Retirement Center ("Retirement Center") is an existing congregate (senior) housing facility that offers high density independent apartment living for its residents. At this time the Retirement Center is proposing to expand housing and recreation offerings on an adjacent lot ("Project Site") to include 19 single-story independent living cottages and an indoor pool (Attachment "A-1"). The Project Site is a 1.81 acre with frontage along Twin Creeks Crossing (South Elevation), North Haskell Street (East Elevation), Golden Peak Drive (North Elevation), and a public open space pedestrian accessway (West Elevation).

The proposed cottages are designed as attached row houses with rear loaded, attached single-car garages (Attachment "A-2"). Architecturally the buildings will provide gable roofs and building materials applications consistent with surrounding residential development. Each of the proposed cottage units fronts on a public street. Access to parking is accommodated by two private drives on North Haskell Street. The current proposal provides 10.5 units per acre, which is within the allowable range for density (6 – 12 units per acre) in the LMR zoning district.

The pool building functions as a key recreational facility for the proposed cottage units and existing Retirement Center. Accordingly the building location is central to the Retirement Center and proposed cottage units. The building entry faces the Retirement Center on the West Elevation (Attachment "A-3). Pedestrian pathways connect Retirement Center and Cottage dwellings to the pool house. Architecturally the building utilizes a gable roof design that stands above the proposed cottages. Building materials articulate the building according to function and use. Painted fiber board and batt siding surrounds the pool area and horizontal lap siding indicates the locker rooms. Between the rooflines on the front façade (West Elevation) painted fiber cement shingles will be used. An outdoor patio along the South Elevation will be covered by a painted pergola that will include partial stone veneer columns. Building colors will be cedar stain and Miller Paint "Gold Strand" and "Sugar Dust."

ISSUES

1. **Flood Impacts.** The Project Site is located in the Special Flood Hazard Area (SFHA) with a small portion at the corner of North Haskell Street and Twin Creeks Crossing impacted by the regulatory floodway. Twin Creeks Development, LLC is in the process of completing a floodway mitigation project that will remove the site from the SFHA and the floodway upon issuance of a Letter of Map Revision by FEMA. The Planning Commission has approved a No-Rise Certification per Resolution No. 817 to allow development in the floodway at this location subject to the floodplain development construction standards set forth in CPMC 8.24. However, the proposed grading plan (Attachment “A-4”) provides proposed finished floor elevations that do not comply with the minimum structural elevation requirement as shown in Table 1.

Table 1. Twin Creeks Cottages BFE Determinations

Unit No.	BFE (ft, NAVD)	Minimum FF Elevation	Proposed FF Elevation	Difference
1A	1252.0	1253.0	1253.1	0.1
1B	1252.0	1253.0	1253.1	0.1
1C	1252.0	1253.0	1252.8	-0.2
1D	1252.0	1253.0	1252.8	-0.2
2A	1252.0	1253.0	1252.4	-0.6
2B	1252.0	1253.0	1252.4	-0.6
2C	1252.0	1253.0	1252.1	-0.9
2D	1252.0	1253.0	1252.1	-0.9
3A	1251.0	1252.0	1252.1	0.1
3B	1251.0	1252.0	1252.1	0.1
3C	1251.0	1252.0	1252.4	0.4
3D	1251.0	1252.0	1252.4	0.4
4A	1251.0	1252.0	1251	-1.0
4B	1251.0	1252.0	1251	-1.0
4C	1251.0	1252.0	1251.3	-0.7
4D	1251.0	1252.0	1251.3	-0.7
5E	1251.5	1252.5	1251.9	-0.6
5F	1251.5	1252.5	1251.9	-0.6
5G	1251.5	1252.5	1251.9	-0.6
Pool House	1251.5	1252.5	1252.5	0.0

According to the applicant’s engineer, the proposed finished grades cannot be modified for cottages 2A-2D, 4A-4D or 5E-5G due to site constraints and elderly livability standards for the front yard access ramps. As conditioned, the applicant will be required to phase construction prior to LOMR issuance to achieve the minimum flood damage prevention construction standards.

2. **Service Areas.** The site plan does not specify service locations for garbage and recycling services. At this time, the applicant has not determined whether a group service area will be provided or if each unit will be responsible for individual service management. As conditioned the applicant shall provide an updated site plan prior to building permit issuance denoting the service area location(s) in accordance with the TOD service zone standards set forth in Section 17.67.070(G).

3. **Group Mailboxes.** The site plan does not show the locations of group mailboxes. To address this, staff is recommending a condition that group mailboxes, if utilized, comply with Section 17.67.050(H)(5) as shown on a revised site plan provided prior to issuance of any building permits.

FINDINGS

As conditioned, the proposal can be found to comply with Site Plan and Architectural Review and TOD Design criteria set forth in Chapters 17.72 and 17.67 of the Central Point Municipal Code (Attachment “Planning Department Supplemental Findings”).

CONDITIONS OF APPROVAL

1. Prior to issuance of the Letter of Map Revision (LOMR) removing the project site from the Special Flood Hazard Area (SFHA), the applicant shall phase construction of the proposed cottage units and pool house to comply with all applicable flood damage prevention standards in CPMC 8.24. After issuance of the LOMR the applicant can proceed to build-out the site.
2. A revised site plan shall be provided prior to issuance of any building permits showing that the proposed service area(s) and group mailboxes comply with the location and screening standards set forth in Sections 17.67.050(H)(5) and 17.67.070(G).
3. Prior to building permit issuance, the applicant shall comply with the conditions set forth in the Fire District #3 staff report dated April 15, 2015.
4. Prior to Certificate of Occupancy, the applicant shall comply with the conditions set forth in the RVSS staff report dated April 17, 2015.

ATTACHMENTS

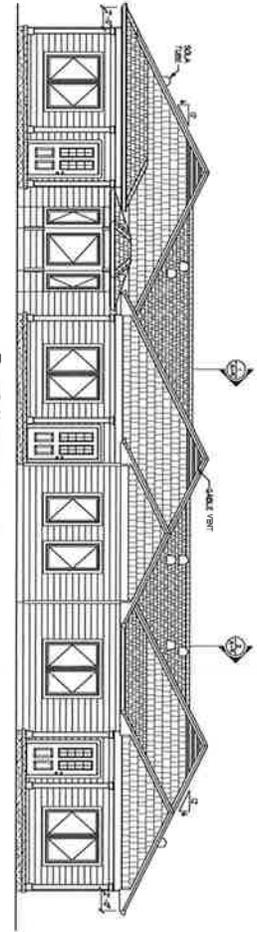
Attachment “A-1” – Site Plan
Attachment “A-2” – Architectural Elevations, Cottage Units
Attachment “A-3” – Architectural Elevations, Pool House
Attachment “A-4” – Grading Plan
Attachment “A-5” – Landscape Plan
Attachment “B” – Applicant’s Findings
Attachment “C” – Rogue Valley Sewer Services Staff Report
Attachment “D” – Fire District #3 Staff Report
Attachment “E” – Planning Department Supplemental Findings

ACTION

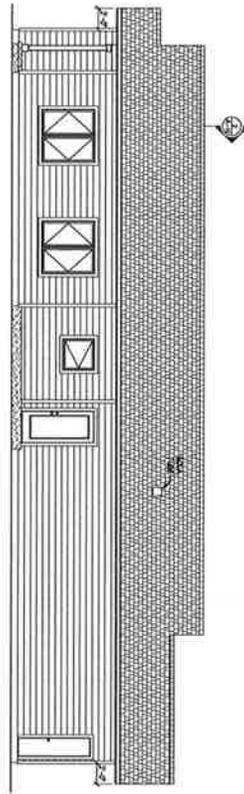
Consider the proposed Site Plan & Architectural Review application and 1) approve; 2) approve with revisions; or 3) deny the application.

RECOMMENDATION

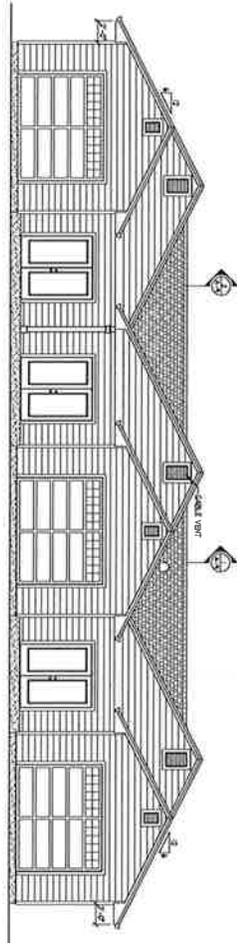
Approve the Site Plan & Architectural Review application for the Twin Creeks Retirement Cottages per the Staff Report dated May 4, 2015.



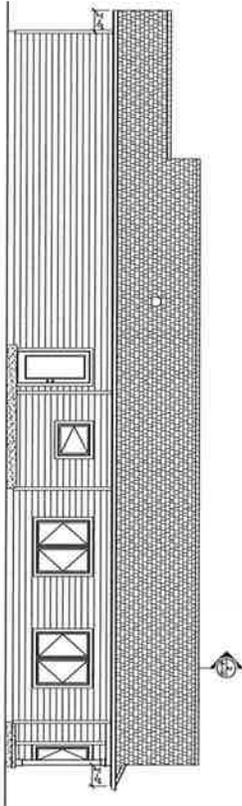
FRONT ELEVATION
SCALE 3/16" = 1'-0"



RIGHT ELEVATION
SCALE 3/16" = 1'-0"



REAR ELEVATION
SCALE 3/16" = 1'-0"



LEFT ELEVATION
SCALE 3/16" = 1'-0"

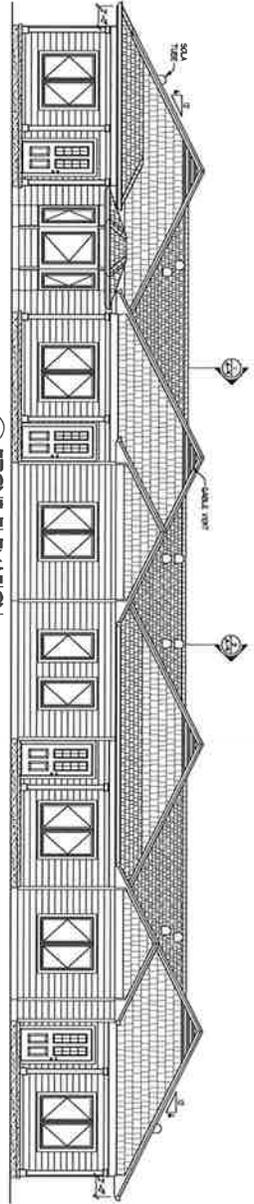
DATE	REVISION

W.L. MOORE
CONSTRUCTION, INC.
CCR #177325
552 BLUE MOON DRIVE
PO BOX 3577
CENTRAL POINT OR 97502
PHONE (541) 665-5401
FAX (541) 665-9402
CELL (541) 778-1560
BREM@TWINCREKS.COM

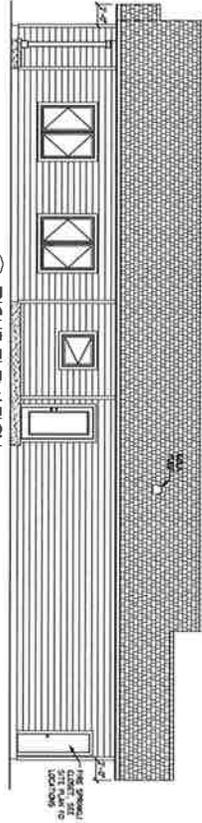
TWIN CREEKS COTTAGES
LOT 33 TWIN CREEKS CROSSING PH 3
N. HASKELL STREET
CENTRAL POINT, OREGON 97502
37 2W 03CA 1200

DRAWING TITLE:
3-UNIT
ELEVATIONS

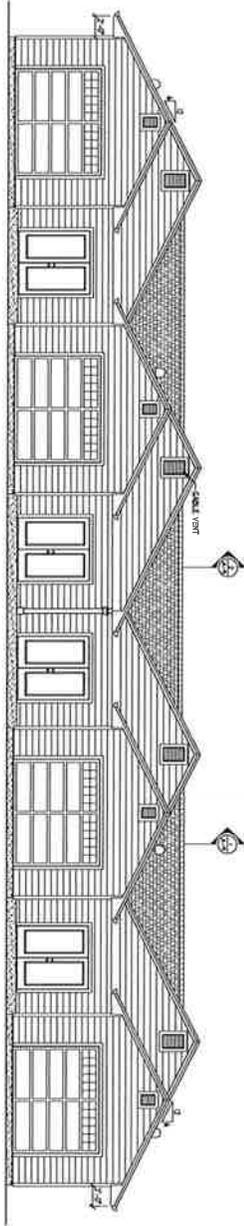
DATE: 11-21-2011
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A-5
5 OF 12



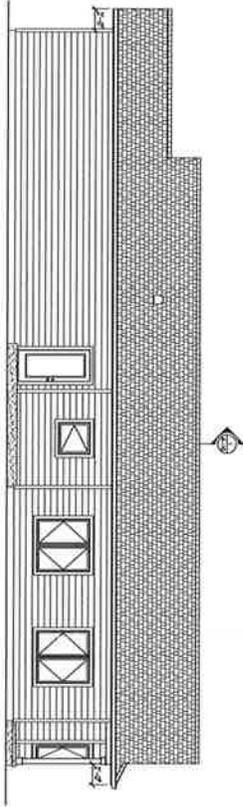
FRONT ELEVATION
SCALE 3/8" = 1'-0"



RIGHT ELEVATION
SCALE 3/8" = 1'-0"



REAR ELEVATION
SCALE 3/8" = 1'-0"



LEFT ELEVATION
SCALE 3/8" = 1'-0"

DATE	REVISION

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CELL (541) 778-1560
BRET@TWINCREEKS.COM

TWIN CREEKS COTTAGES
LOT 33 TWIN CREEKS CROSSING PH 3
N HASKELL STREET
CENTRAL POINT, OREGON 97502
37 2W 03CA 1200

DRAWING TITLE:
4-UNIT
ELEVATIONS

JOB: TWIN CREEKS COTTAGES
DATE: 11-27-2013
DRAWN BY: BRET MOORE
SHEET: **A-6**
6 OF 12

CONTOURS

- EXISTING GROUND
- PROPOSED GROUND
- PROPOSED INTERVAL
- EXISTING GROUND
- PROPOSED GROUND
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- EXISTING GROUND
- PROPOSED GROUND
- PROPOSED INTERVAL

1/2" = 20' (VERTICAL)

1/4" = 20' (HORIZONTAL)

DATE: 2/28/13

PROJECT: GRADING PLAN - TWIN CREEKS COTTAGES

SCALE: 1/4" = 20'

CALL FOR UTILITY LOCATIONS 48 HOURS PRIOR TO EXCAVATION - 1-800-332-2344

REVISIONS:

NO. DATE DESCRIPTION

1 2/28/13

2 3/15/13

3 4/1/13

4 4/15/13

5 5/1/13

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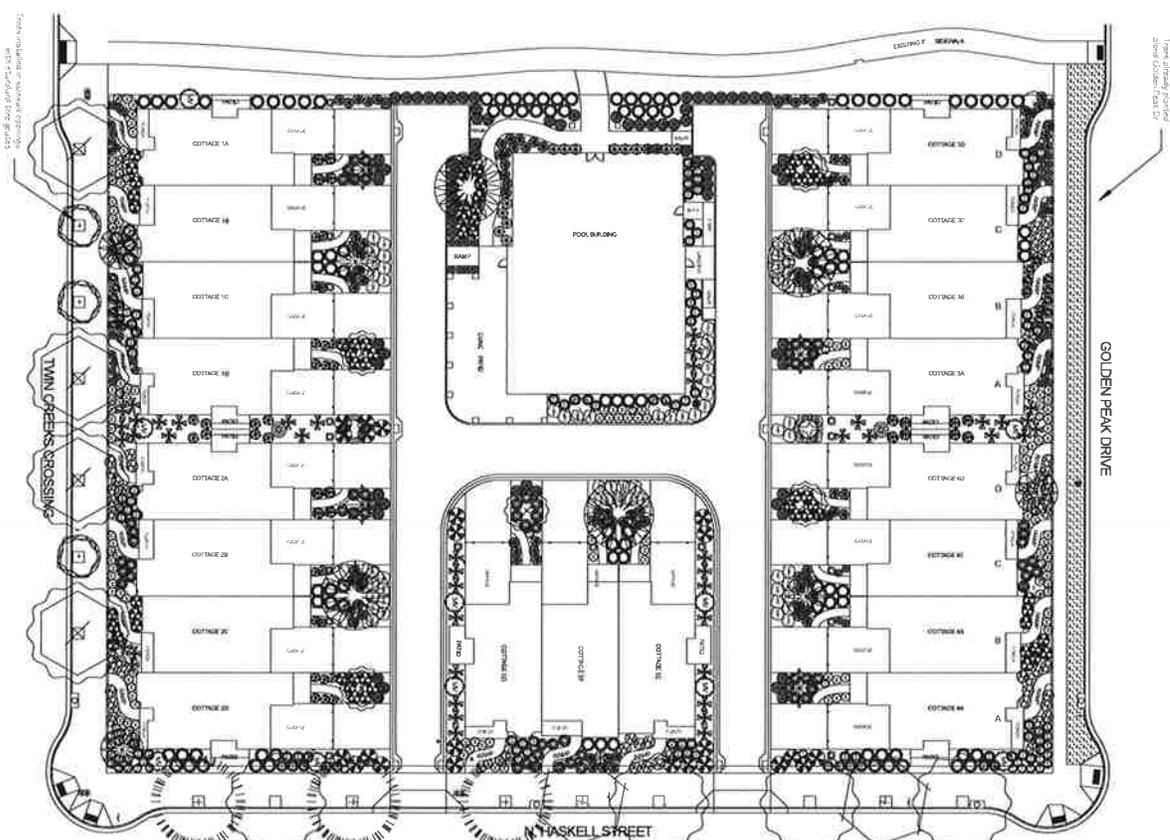
PLANT LIST

Common Name	Plant Name	Size
1. Red Maple	Acer rubrum	12-14'
2. Green Ash	Fraxinus viridis	12-14'
3. White Birch	Betula papyrifera	12-14'
4. Black Birch	Betula nigra	12-14'
5. Paper Birch	Betula papyrifera	12-14'
6. Sweetgum	Liquidambar styraciflua	12-14'
7. Red Oak	Quercus rubra	12-14'
8. White Oak	Quercus alba	12-14'
9. Bur Oak	Quercus macrocarpa	12-14'
10. Pin Oak	Quercus palustris	12-14'
11. Live Oak	Quercus agrifolia	12-14'
12. Dogwood	Cornus florida	12-14'
13. Magnolia	Magnolia grandiflora	12-14'
14. Camellia	Camellia japonica	12-14'
15. Japanese Maple	Acer japonicum	12-14'
16. Norway Spruce	Picea canadensis	12-14'
17. White Pine	Pinus strobus	12-14'
18. Larch	Larix laricina	12-14'
19. Fir	Abies balsamea	12-14'
20. Spruce	Picea canadensis	12-14'
21. Juniper	Juniperus horizontalis	12-14'
22. Yew	Taxus canadensis	12-14'
23. Red Cedar	Juniperus horizontalis	12-14'
24. Blue Spruce	Picea canadensis	12-14'
25. White Pine	Pinus strobus	12-14'
26. Norway Spruce	Picea canadensis	12-14'
27. Fir	Abies balsamea	12-14'
28. Spruce	Picea canadensis	12-14'
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82. Norway Spruce	Picea canadensis	12-14'
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98. Norway Spruce	Picea canadensis	12-14'
99. Fir	Abies balsamea	12-14'
100. Spruce	Picea canadensis	12-14'



PLANTING

1. Plant material to be provided by contractor. All plant material shall be of standard quality and shall be delivered to the site in good condition.
2. All plant material shall be delivered to the site in good condition and shall be delivered to the site in good condition.
3. All plant material shall be delivered to the site in good condition and shall be delivered to the site in good condition.
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9. All plant material shall be delivered to the site in good condition and shall be delivered to the site in good condition.
10. All plant material shall be delivered to the site in good condition and shall be delivered to the site in good condition.



IRRIGATION DETAILS

1. Irrigation system shall be provided for all areas to be irrigated.
2. Irrigation system shall be provided for all areas to be irrigated.
3. Irrigation system shall be provided for all areas to be irrigated.
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9. Irrigation system shall be provided for all areas to be irrigated.
10. Irrigation system shall be provided for all areas to be irrigated.

GRADING

1. Grading shall be provided for all areas to be graded.
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3. Grading shall be provided for all areas to be graded.
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8. Grading shall be provided for all areas to be graded.
9. Grading shall be provided for all areas to be graded.
10. Grading shall be provided for all areas to be graded.

GENERAL NOTES

1. All work shall be in accordance with the specifications.
2. All work shall be in accordance with the specifications.
3. All work shall be in accordance with the specifications.
4. All work shall be in accordance with the specifications.
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8. All work shall be in accordance with the specifications.
9. All work shall be in accordance with the specifications.
10. All work shall be in accordance with the specifications.

NOTE: IF THIS SHEET IS LESS THAN 24" X 36" IT HAS BEEN REDUCED AND IS NOT TO SCALE.

Trees indicated in standard symbols with standard tree grades.

LANDSCAPE PLAN
SCALE: 1" = 20'

L1

03.24.15
SCALE: 1" = 20'

TWIN CREEKS COTTAGES
NORTH HASKELL STREET
Central Point, Or

Madara Design Inc
Landscape Design & Consultation
2994 Welle Fargo Rd
Central Point, Or 97502
541-664-7055



**Findings Site Plan for Cottages
for
Twin Creeks Retirement, LLC
and
Twin Creeks Development Co., LLC**

March 9, 2015

The primary purpose of these findings is to address the criteria for construction of Cottages, by the Applicant, Twin Creeks Retirement, LLC., on the property located on the corner of Twin Creeks Crossing and North Haskell Street, Central Point, Oregon, and identified as Assessors Map No 372W03CA-1200 and as Lot 33 of Twin Creeks Crossing, Phase 1 as recorded in Volume 33, Page 1 of the Plat Records of Jackson County, Oregon.

Back ground: The Pre-Annexation Development Agreement recorded as Instrument No. 01-03646 of the official records of Jackson County provided the framework for establishing a Transit Oriented Development (TOD) in January 2001 and was followed by the approval of the master plan for Twin Creeks Development shortly thereafter. The last amendment to the master plan was approved by the City, on October 7, 2014, by the Planning Commission. On January 8, 2015 the City Council approved Ordinance no. 1999 changing the zone from TOD-HMR to TOD-LMR.

On March 4, 2015 a Pre-Application Conference was held to review site plan application and the time lines for processing the site plan. The meeting was attended by Tom Humphrey, Community Development Director; Stephanie Holtey, Planner; Matt Samitore, Parks and Public Works Director; Bret Moore, Applicant; Herb Farber, Agent; Matthew Dusenbury, Engineer, Interested Parties. Staff has determined that the site plan will be processed as Type 2 application such under Chapters 17.05.300, 17.65, 17.66, 17.67 and 17.72 of the Central Point Municipal Code, (CPMC)

Project Description:

The purpose of the Central Point transit oriented development (TOD) district is to promote efficient and sustainable land development and the increased use of transit as required by the Oregon Transportation Planning Rule.

This project lies within the Central Point TOD zoning district. The applicant proposes to construct 19 cottage units on Lot 33 adjacent to the Twin Creeks Retirement Center. These findings will demonstrate that this application complies with the pertinent elements of the above described Chapters.

The Cottages are a Residential Facility under the Table 1 Use Categories in Chapter 17.65. The 19 units on the 1.81 acre Lot 33 provides a density of 10.5 units per acre and complies with Table 2 which provides a standard of 6 to 12 units per acre. This site plan illustrated on

Whetstone Engineering, Inc., Sheet 2 of 9 illustrates the 10 foot front yard, 6 and 5 foot side yards, 20 feet minimum from the alley access to the garages for each unit and 10 feet between the buildings. The parking standard for residential units is 2 parking spaces. These units have a single car garage and one parking space in the driveway. The corridor standards do not apply to this application.

Finding: The application complies with Chapter 17.65 standards.

17.66.050 Application approval criteria.

B. Site Plan and Architectural Review. A site plan and architectural review application shall be approved when the approval authority finds that the following criteria are satisfied or can be shown to be inapplicable:

1. The provisions of Chapter 17.72, Site Plan and Architectural Review, shall be satisfied; and

Finding: see the findings below.

2. The proposed improvements comply with the approved TOD district or corridor master plan for the property, if required; and

Finding: This project is within the Twin Creeks Master plan.

3. Chapter 17.67, Design Standards--TOD District and TOD Corridor.

17.67.050 Site design standards.

The following standards and criteria shall be addressed in the master plan, land division, and/or site plan review process:

A. Adjacent Off-Site Structures and Uses.

1. All off-site structures, including septic systems, drain fields, and domestic wells (within one hundred feet) shall be identified and addressed in the master plan, land division, or site plan process in a manner that preserves and enhances the livability and future development needs of off-site structures and uses consistent with the purpose of the TOD district and as necessary to improve the overall relationship of a development or an individual building to the surrounding context.

Finding: This project is within the Twin Creeks Master plan.

2. Specific infrastructure facilities identified on site in the master plan, land division, and/or site plan shall comply with the underground utility standards set forth in the City of Central Point Department of Public Works Standard Specifications and Uniform Standard Details for Public Works Construction, Section 400, Storm Water Sewer System and, more specifically, Section 420.10.02, Ground Water Control Plan, in order to safeguard the water resources of adjacent uses.

Finding: This project is within the Twin Creeks Master plan. The storm water treatment system for the Twin Creeks development exceeds requirements.

B. Natural Features.

1. Buildings should be sited to preserve significant trees.
2. Buildings should be sited to avoid or lessen the impact of development on environmentally critical areas such as steep slopes, wetlands, and stream corridors.
3. Whenever possible, wetlands, groves, and natural areas should be maintained as public preserves and as open space opportunities in neighborhoods.

Finding: This project is within the Twin Creeks Master plan. This is a developed residential lot.

C. Topography.

1. Buildings and other site improvements should reflect, rather than obscure, natural topography.
2. Buildings and parking lots should be designed to fit into hillsides, for instance, reducing the need for grading and filling.
3. Where neighboring buildings have responded to similar topographic conditions on their sites in a consistent and positive way, similar treatment for the new structure should be considered.

Finding: This project is within the Twin Creeks Master plan. This is a developed residential lot.

D. Solar Orientation.

1. The building design, massing and orientation should enhance solar exposure for the project, taking advantage of the climate of Central Point for sun-tempered design.
2. Where possible, the main elevation should be facing within twenty-five degrees of due south.
3. In residential developments, the location of rooms should be considered in view of solar exposure, e.g., primary living spaces should be oriented south, but a west facing kitchen should be avoided as it may result in summer overheating.
4. Outdoor spaces should be strategically sited for solar access and the cooling summer winds.
5. Shadow impacts, particularly in winter, on adjacent buildings and outdoor spaces should be avoided.

Finding: This project is within the Twin Creeks Master plan. This is a developed residential lot.

E. Existing Buildings on the Site.

1. Where a new building shares the site with an admirable existing building or is a major addition to such a building, the design of the new building should be compatible with the original.
2. New buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.

Finding: This project is within the Twin Creeks Master plan. This is a developed residential lot.

F. New Prominent Structures. Key public or civic buildings, such as community centers, churches, schools, libraries, post offices, and museums, should be placed in prominent locations, such as fronting on public squares or where pedestrian street vistas terminate, in order to serve as landmarks and to symbolically reinforce their importance.

Finding: This project is within the Twin Creeks Master plan.

G. Views. The massing of individual buildings should be adjusted to preserve important views while benefiting new and existing occupants and surrounding neighborhoods.

Finding: This project is within the Twin Creeks Master plan.

H. Adjoining Uses and Adjacent Services.

1. When more intensive uses, such as neighborhood commercial or multifamily dwellings, are within or adjacent to existing single-family neighborhoods, care should be taken to minimize the impact of noise, lighting, and traffic on adjacent dwellings.

2. Activity or equipment areas should be strategically located to avoid disturbing adjacent residents.

3. All on-site service areas, loading zones and outdoor storage areas, waste storage, disposal facilities, transformer and utility vaults, and similar activities shall be located in an area not visible from a street or urban space.

4. Screening shall be provided for activities, areas and equipment that will create noise, such as loading and vehicle areas, air conditioning units, heat pumps, exhaust fans, and garbage compactors, to avoid disturbing adjacent residents.

5. Group mailboxes are limited to the number of houses on any given block of development. Only those boxes serving the units may be located on the block. Multiple units of mailboxes may be combined within a centrally located building of four walls that meets the design guidelines for materials, entrance, roof form, windows, etc. The structure must have lighting both inside and out.

Finding: This project is within the Twin Creeks Master plan. This is a developed residential lot.

I. Transitions in Density.

1. Higher density, attached dwelling developments shall minimize impact on adjacent existing lower density, single-family dwelling neighborhoods by adjusting height, massing and materials and/or by providing adequate buffer strips with vegetative screens.

2. Adequate buffer strips with vegetative screens shall be placed to mitigate the impact of higher density development on adjacent lower density development.

3. New residential buildings within fifty feet of existing low density residential development shall be no higher than thirty-five feet and shall be limited to single-family detached or attached units, duplexes, triplexes or fourplexes.

4. New commercial buildings within fifty feet of existing low density residential development shall be no higher than forty-five feet.

5. Dwelling types in a TOD district or corridor shall be mixed to encourage interaction among people of varying backgrounds and income levels.

6. Zoning changes should occur midblock, not at the street centerline, to ensure that compatible building types face along streets and within neighborhoods. When dissimilar building types face each other across the street because the zoning change is at the street centerline or

more infill housing is desired (for instance, duplexes across the street from single dwellings), design shall ensure similarity in massing, setback, and character.

7. Density should be increased incrementally, to buffer existing neighborhoods from incompatible building types or densities. Sequence density, generally, as follows: large lot single dwelling, small lot single dwelling, duplex, townhomes, courtyard multifamily apartments, large multifamily apartments, and mixed use buildings.

Finding: This project is within the Twin Creeks Master plan. This is a developed residential lot.

J. Parking.

1. Parking Lot Location.

a. Off-street surface parking lots shall be located to the side or rear of buildings. Parking at midblock or behind buildings is preferred.

b. Off-street surface parking lots shall not be located between a front facade of a building and a public street.

c. If a building adjoins streets or accessways on two or more sides, off-street parking shall be allowed between the building and the pedestrian route in the following order of priority:

1st. Accessways;

2nd. Streets that are nontransit streets;

3rd. Streets that are transit streets.

d. Parking lots and garages should not be located within twenty feet of a street corner.

Finding: This section does not apply. Parking is off the alley in single car garages and driveways.

K. Landscaping.

1. Perimeter Screening and Planting.

a. Landscaped buffers should be used to achieve sufficient screening while still preserving views to allow areas to be watched and guarded by neighbors.

b. Landscaping should be used to screen and buffer unsightly uses and to separate such incompatible uses as parking areas and waste storage and pickup areas.

3. Landscaping Near Buildings. Landscaping shall serve as a screen or buffer to soften the appearance of structures or uses such as parking lots or large blank walls, or to increase the attractiveness of common open spaces.

4. Service Areas. Service areas, loading zones, waste disposal or storage areas must be fully screened from public view.

a. Prohibited screening includes chainlink fencing with or without slats.

b. Acceptable screening includes:

i. A six-foot masonry enclosure, decorative metal fence enclosure, a wood enclosure, or other approved materials complementary to adjacent buildings;
or

ii. A six-foot solid hedge or other plant material screening as approved.

5. Street Trees. Street trees shall be required along both sides of all public streets with a spacing of twenty feet to forty feet on center depending on the mature width of the tree crown, and planted a minimum of two feet from the back of curb. Trees in the right-of-way or sidewalk

easements shall be approved according to size, quality, and tree well design, if applicable, and irrigation shall be required. Tree species shall be chosen from the city of Central Point approved street tree list.

Finding: Street trees have been established on Golden Peak Drive, the remaining street trees are indentified on the accompanying plan. The landscaping plan complies with all of the requirements of this section.

L. Lighting.

1. Minimum Lighting Levels. Minimum lighting levels shall be provided for public safety in all urban spaces open to public circulation.

a. A minimum average light level of one and two-tenths footcandles is required for urban spaces and sidewalks.

b. Metal-halide or lamps with similar color, temperature and efficiency ratings shall be used for general lighting at building exteriors, parking areas, and urban spaces. Sodium-based lamp elements are not allowed.

c. Maximum lighting levels should not exceed six footcandles at intersections or one and one-half footcandles in parking areas.

2. Fixture Design in Public Rights-of-Way.

a. Pedestrian-scale street lighting shall be provided including all pedestrian streets along arterials, major collectors, minor collectors and local streets.

b. Pedestrian street lights shall be no taller than twenty feet along arterials and collectors, and sixteen feet along local streets.

3. On-Site Lighting. Lighting shall be incorporated into the design of a project so that it reinforces the pedestrian environment, provides continuity to an area, and enhances the drama and presence of architectural features. Street lighting should be provided along sidewalks and in medians. Selected street light standards should be appropriately scaled to the pedestrian environment. Adequate illumination should be provided for building entries, corners of buildings, courtyards, plazas and walkways.

a. Accessways through surface parking lots shall be well lighted with fixtures no taller than twenty feet.

b. Locate and design exterior lighting of buildings, signs, walkways, parking lots, and other areas to avoid casting light on nearby properties.

c. Fixture height and lighting levels shall be commensurate with their intended use and function and shall assure compatibility with neighboring land uses. Baffles shall be incorporated to minimize glare and to focus lighting on its intended area.

d. Additional pedestrian-oriented site lighting including step lights, well lights and bollards shall be provided along all courtyard lanes, alleys and off-street bike and pedestrian pathways.

e. In addition to lighting streets, sidewalks, and public spaces, additional project lighting is encouraged to highlight and illuminate building entrances, landscaping, parks, and special features.

Finding: All of the public street and pedestrian path lighting is in place. All on site lighting will be attached to the structures.

M. Signs.

Finding: No additional signage is anticipated for the project.

Conclusion: This project will enhance the overall goals of the TOD by maintaining the density and diversity of the project while conforming to the vision of the master plan. This action will provide for more housing without urban sprawl in a livable setting.

The proposed Cottage Project can be found to comply with the sighting requirements of the Central Point Municipal Code. We respectfully request approval of this request.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read 'Herbert A. Farber', written in a cursive style.

Herbert A Farber



ROGUE VALLEY SEWER SERVICES

Location: 138 West Vilas Road, Central Point, OR - Mailing Address: P.O. Box 3130, Central Point, OR 7502-0005
Tel. (541) 664-6300, Fax (541) 664-7171 www.RVSS.us

April 17, 2015

Stephanie Holtey
City of Central Point Planning Department
155 South Second Street
Central Point, Oregon 97502

Re: File 15012-Twin Creek Cottages, 372W03CA-TL 1200

Adequate system capacity exists for the proposed development from the existing mainline located in North Haskell Street. Sewer service for the development can come from the extension of public mainline from the existing sewer mainline.

Rogue Valley Sewer Services requests that approval of this development be subject to the following condition

1. Proposed development must comply with Rogue Valley Sewer Services Standards and the Oregon State Plumbing Specialty Code.
2. Applicant must pay all related System Development Charges and permit fees due to Rogue Valley Sewer Services prior to connecting the new building.
3. Applicant must submit a stormwater management plan for the entire tax lot demonstrating compliance with the MS4 Phase II stormwater quality standards to Rogue Valley Sewer Services for review and approval prior to the start of construction.
4. The City verifies with RVSS that all of the above conditions have been met prior to the issuance of building occupancy.

Feel free to call me if you have any questions.

Wade Denny, PE

Digitally signed by Wade Denny, PE
DN: cn=Wade Denny, PE, o=Rogue Valley Sewer Services,
ou=District Engineer, email=wdenny@rvss.us, c=US
Date: 2015.04.17 08:33:29 -07'00'

Wade Denny, P.E.
District Engineer

K:\DATA\AGENCIES\CENTPT\PLANNG\SITEPLANREVIEW\2015\15012 TWIN CREEK
COTTAGES.DOC

Jackson County Fire District 3

8383 Agate Road
White City, OR 97503-1075
(541) 826-7100 (Office)
(541) 826-4566 (Fax)
www.jcfd3.com



April 15th, 2015

Stephanie Holtey, CFM
Community Planner II
City of Central Point
140 South 3rd Street
Central Point, OR 97502

Re: Twin Creeks Cottages (File No. 15012)

Stephanie:

This shall be my comments for access and water supply. I would also like to comment on the architectural plans when we get to that stage.

Water supply for this facility is met with existing hydrants on N Haskell St, Golden Peak Dr., and Twin Creeks Crossing Loop.

Access for the Cottages and Pool house are acceptable as well. Detail 3/6 for the rolled curb is not detailed in this site plan, but if the curb is mountable it can be used as part of the required 20 foot access.

Mark Northrop
DFM
JCFD3
541-831-2776

**FINDINGS OF FACT
AND CONCLUSIONS OF LAW
File No.: 15012**

**Consideration of a Site Plan & Architectural Review
to construct the Twin Creeks Retirement Center Cottages**

Applicant:)	Findings of Fact
Twin Creeks Retirement, LLC)	and
888 Twin Creeks Crossing)	Conclusion of Law
Central Point, OR 97502)	

**PART 1
INTRODUCTION**

The applicant proposes to develop a congregate housing project consisting of 19 single-story attached multiplex units and a recreational pool house. The proposal is located on Lot 33 of Twin Creeks Crossing Phase I ("Project Site") on a 1.81 acre lot.

The site plan and architectural review request is a Major Project, which is processed using Type II application procedures. Type II procedures set forth in Section 17.05.300 provide the basis for decisions upon standards and criteria in the development code and the comprehensive plan, when appropriate.

The project site is located in the LMR, Low Mix Residential District and is subject to the standards and criteria set forth in CPMC 17.65, TOD District and Corridor; 17.66, Application Review Procedures for TOD District and Corridor, and CPMC 17.67, Design and Development Standards.

The following findings address each of the standards and criteria as applies to the proposed application for the Twin Creeks Retirement Center Cottages.

**PART 2
TWIN CREEKS MASTER PLAN**

The Twin Creeks TOD Master Plan ("Master Plan) was approved in 2000 to guide development within a 230-acre land area in accordance with the TOD district zoning and design standards. The Master Plan was modified in 2014 to designate the Project Site from HMR—High Mix Residential with mixed uses to LMR—Low Mix Residential with the potential to allow congregate housing.

The proposed congregate housing development on the Project Site has been evaluated against the Master Plan and has been found to comply with all applicable Exhibits including Land Use, Housing, and Circulation.

**PART 3
ZONING ORDINANCE**

17.65.050 Zoning Regulations—TOD District

- A. Permitted Uses. Permitted uses in Table 1 are shown with a "P." These uses are allowed if they comply with the applicable provisions of this title. They are subject to the same application and review process as other permitted uses identified in this title.

- B. Limited Uses. Limited uses in Table 1 are shown with an “L.” These uses are allowed if they comply with the specific limitations described in this chapter and the applicable provisions of this title. They are subject to the same application and review process as other permitted uses identified in this title.
- C. Conditional Uses. Conditional uses in Table 1 are shown with a “C.” These uses are allowed if they comply with the applicable provisions of this title. They are subject to the same application and review process as other conditional uses identified in this title.

Finding 17.65.050(A-C): *The proposed congregate housing project site is located in the LMR, Low Mix Residential zone within the TOD District. “Congregate (Senior) Housing” is listed in Table 1 as a “Limited Use” and is permitted only when part of an existing or proposed congregate housing project on an abutting property under the same ownership within the MMR or HMR district. The proposed project is an expansion of an existing congregate housing facility owned and operated by Twin Creeks Retirement Center, LLC (“Applicant”), which is located in the HMR zoning district on an abutting parcel.*

Conclusion 17.65.0560(B): *Consistent.*

- D. Density. The allowable residential density and employment building floor area are specified in Table 2.

Finding 17.65.050(D): *In the LMR zoning district, the minimum density is 6 units/acre and the maximum is 12 units/acre. As shown in Table 1 below, the proposed Congregate Housing project on the Project Site is within the allowable range for density in the LMR zoning district.*

Table 1. Density	
	Proposal
Site Area	1.81
Proposed No. Units	19
Proposed Density	10.50

Conclusion 17.65.050(D): *Consistent.*

- E. Dimensional Standards. The dimensional standards for lot size, lot dimensions, building setbacks, and building height are specified in Table 2.

Finding 17.65.050(E): *As shown in Table 2 below, the proposed congregate housing project meets the dimensional standards of the LMR zoning district.*

Table 2. Dimensional Standards		
	Proposed Project	LMR District
Minimum Lot or Land Area/Unit	3400	2000
Average Minimum Lot or Land Area/Unit	3522	2500
Minimum Lot Width	N/A	N/A
Front Yard Setback (min./max.)	10'	10'/15'
Side Yard Setback (min./max.)	0' (between units); 10' (between plexes)	0'/5'
Corner (min./max.)	6'	5'/10'

Rear	20' (to driveway curb)	15'
Maximum Building Height	13'8"	35'
Maximum Lot Coverage	74%	80%
Minimum Landscaped Area	26%	20%

Conclusion 17.65.050(E): *Consistent.*

F. Development Standards.

1. Housing Mix. The required housing mix for the TOD district is shown in Table 2.

Finding 17.65.050(F)(1): *The proposed congregate housing facility consists of single-story multifamily plexes that consist of groupings of 3-4 attached row houses.*

Conclusion 17.65.050(F): *Consistent.*

2. Accessory Units. Accessory units are allowed as indicated in Table 1. Accessory units shall meet the following standards:
 - a. A maximum of one accessory unit is permitted per lot;
 - b. The primary residence and/or the accessory unit on the lot must be owner-occupied;
 - c. An accessory unit shall have a maximum floor area of eight hundred square feet;
 - d. The applicable zoning standards in Table 2 shall be satisfied.

Finding 17.65.050(F)(1): *The proposal does not include accessory units.*

Conclusion 17.65.050(F): *Not applicable.*

3. Parking Standards. The off-street parking and loading requirements in Chapter 17.64 shall apply to the TOD district and TOD corridor, except as modified by the standards in Table 3 of this section.
 - a. Fifty percent of all residential off-street parking areas shall be covered. Accessory unit parking spaces are not required to be covered.
 - b. Parking standards may be reduced when transit service is provided in the TOD district and TOD corridor and meets the following conditions:
 - i. Parking standards may be reduced when transit service is provided in the TOD district and TOD corridor.
 - ii. Parking standards may be reduced up to fifty percent when transit service is provided in the TOD district and TOD corridor and when bus service includes 15-minute headways during the hours of seven to nine a.m. and four to six p.m.
 - c. Bicycle parking standards in Chapter 17.64 shall not be reduced at any time.
 - d. Shared parking easements or agreements with adjacent property owners are encouraged to satisfy a portion of the parking requirements for a particular use where compatibility is shown. Parking requirements may be reduced by the city when reciprocal agreements of shared parking are recorded by adjacent users.

Finding 17.65.050(F)(3): The proposed Twin Creeks Retirement Cottages provides one covered parking space per unit for a total of 19 parking spaces. The minimum parking requirement for congregate housing facilities is 0.5 spaces per units or 9.5 total parking spaces for the 19-unit proposal. Covered parking spaces are accommodated by rear loaded single car garages.

Conclusion 17.65.050(F): Consistent.

17.66.030 Application and Review

A. Application Types. There are four types of applications which are subject to review within the Central Point TOD district and corridor.

1. TOD District or Corridor Master Plan.
2. Site Plan and Architectural Review.
3. Land Division.
4. Conditional Use.

Finding 17.66.030(A): The proposed congregate housing development is a limited use on 1.81 acres and has been submitted for a Site Plan and Architectural Review and processed using Type II application procedures per Section 17.66.030(A)(2).

Conclusion 17.66.030(A): Consistent.

B. Submittal Requirements. A master plan shall include the following elements:

1. Introduction.
2. Site Analysis Map.
3. Transportation and Circulation Plan.
4. Site Plan.
5. Recreation and Open Space Plan.
6. Building Design Plan.
7. Transit Plan.
8. Environmental Plan.

Applications shall be submitted as required in Chapter 17.05.

Finding 17.66.030(B): The proposed congregate housing development is within the Twin Creeks Master Plan area. A new Master Plan is not required.

Conclusion 17.66.030(B): Not applicable.

17.66.040 Parks and Open Spaces

Common park and open space shall be provided for all residential development within a TOD district or corridor as per Section 17.67.060.

Finding 17.66.040: *The proposed congregate housing development is within the Twin Creeks TOD Master Plan area, which established parks and open spaces throughout the Twin Creeks TOD to meet the requirements of this section.*

Conclusion 17.66.040: *Not applicable.*

17.66.050 Application Approval Criteria

A. TOD District or Corridor Master Plan.

Finding 17.66.050(A): *The current application is a Site Plan and Architectural Review.*

Conclusion 17.66.050(A): *Not applicable.*

B. Site Plan and Architectural Review. A site plan and architectural review application shall be approved when the approval authority finds that the following criteria are satisfied or can be shown to be inapplicable:

1. The provisions of Chapter 17.72, Site Plan and Architectural Review, shall be satisfied; and
2. The proposed improvements comply with the approved TOD district or corridor master plan for the property, if required; and
3. Chapter 17.67, Design Standards--TOD District and TOD Corridor.

Finding 17.66.050(B): *As evidenced by the findings and conclusions set forth herein, the proposed congregate housing facility satisfies the approval criteria for site plan and architectural review.*

Conclusion 17.66.050(B): *Complies.*

C. Land Division.

Finding 17.66.050(C): *The current application is a Site Plan and Architectural Review.*

Conclusion 17.66.050(C): *Not applicable.*

D. Conditional Use.

Finding 17.66.050(D): *The current application is a Site Plan and Architectural Review.*

Conclusion 17.66.050(D): *Not applicable.*

17.67.040 Circulation and Access Standards

A. Public Street Standards.

1. Except for specific transportation facilities identified in a TOD district or corridor master plan, the street dimensional standards set forth in the City of Central Point Department of Public Works Standard Specifications and Uniform Standard Details for Public Works Construction, Section 300, Street Construction shall apply for all development located within the TOD district and for development within the TOD corridor which is approved according to the provisions in Section 17.65.020 and Chapter 17.66.
2. Block perimeters shall not exceed two thousand feet measured along the public street right-of-way.

3. Block lengths for public streets shall not exceed six hundred feet between through streets, measured along street right-of-way.
4. Public alleys or major off-street bike/pedestrian pathways, designed as provided in this chapter, may be used to meet the block length or perimeter standards of this section.
5. The standards for block perimeters and lengths shall be modified to the minimum extent necessary based on findings that strict compliance with the standards is not reasonably practicable or appropriate due to:
 - a. Topographic constraints;
 - b. Existing development patterns on abutting property which preclude the logical connection of streets or accessways;
 - c. Railroads;
 - d. Traffic safety concerns;
 - e. Functional and operational needs to create a large building; or
 - f. Protection of significant natural resources.

Finding 17.67.040(A) (1-5): *The proposal does not include the creation of blocks. The existing street network was established in accordance with the Twin Creeks TOD Master Plan and the provisions of this section.*

Conclusion 17.66.040(A)(1-5): *Not applicable.*

6. All utility lines shall be underground but utility vault access lids may be located in the sidewalk area.

Finding 17.67.040(A)(6): *All proposed utility lines proposed are underground. There are three (3) PP&L electrical vaults located on the site, outside of public sidewalks system.*

Conclusion 17.66.040(A)(6): *Consistent.*

7. Connections shall be provided between new streets in a TOD district or corridor and existing local and minor collector streets.

Finding 17.67.040(A)(7): *The proposal does not include the creation of new streets.*

Conclusion 17.66.040(A)(7): *Not applicable.*

8. Pedestrian/Bike Accessways Within Public Street Right-of-Way.
 - a. Except for specific accessway facilities identified in a TOD district or corridor master plan, the following accessway dimensional standards set forth in the City of Central Point Department of Public Works Standard Specifications and Uniform Standard Details for Public Works Construction, Section 300, Street Construction shall apply for any development located within the TOD district and for development within the TOD corridor which is approved according to the provisions in Section 17.65.020 and Chapter 17.66.
 - b. In transit station areas, one or more pedestrian-scaled amenities shall be required with every one hundred square feet of the sidewalk area, including but not limited to:

- i. Street furniture;
 - ii. Plantings;
 - iii. Distinctive Paving;
 - iv. Drinking fountains; and
 - v. Sculpture.
- c. Sidewalks adjacent to undeveloped parcels may be temporary.
- d. Public street, driveway, loading area, and surface parking lot crossings shall be clearly marked with textured accent paving or painted stripes.
- e. The different zones of a sidewalk should be articulated using special paving or concrete scoring.

Finding 17.67.040(A)(8): *Pedestrian and bicycle accessways proposed within the public right-of-way are consistent with the Twin Creeks TOD Master Plan street sections for roadway classifications of the adjoining streets.*

Conclusion 17.66.040(A)(8): *Consistent.*

9. Public Off-Street Accessways.

- a. Pedestrian accessways and greenways should be provided as needed to supplement pedestrian routes along public streets.
- b. Off-street pedestrian accessways shall incorporate all of the following design criteria:
 - i. The applicable standards in the City of Central Point Department of Public Works Standard Specifications and Uniform Standard Details for Public Works Construction, Section 300, Street Construction;
 - ii. Minimum ten-foot vertical clearance;
 - iii. Minimum twenty-foot horizontal barrier clearance for pathway;
 - iv. Asphalt, concrete, gravel, or wood chip surface as approved by the city, with a compacted subgrade;
 - v. Nonskid boardwalks if wetland construction is necessary; and
 - vi. Minimum one hundred square feet of trailhead area at intersections with other pedestrian improvements. A trail map sign shall be provided at this location.
- c. Minor off-street trails shall be a minimum of five feet wide, have a minimum vertical clearance of eight feet, a minimum two-foot horizontal clearance from edge of pathway and be constructed of gravel or wood chips, with a compacted subgrade.

Finding 17.67.040(A)(9): *Twin Creeks Retirement Cottages and the Retirement Center occupants will share the pool house as a recreational amenity. To accommodate pedestrian access to the pool house, the proposal includes a 10-foot pedestrian accessway between the proposed pool house on the Project Site and the existing Twin Creeks Retirement Center building.*

Conclusion 17.66.040(A)(1-5): *Consistent.*

B. Parking Lot Driveways.

1. Parking lot driveways that link public streets and/or private streets with parking stalls shall be designed as private streets, unless one of the following is met:
 - a. The parking lot driveway is less than one hundred feet long;
 - b. The parking lot driveway serves one or two residential units; or
 - c. The parking lot driveway provides direct access to angled parking stalls.
2. The number and width of driveways and curb cuts should be minimized and consolidated when possible.
3. Where possible, parking lots for new development shall be designed to provide vehicular and pedestrian connections to adjacent sites.
4. Large driveways should use distinctive paving patterns.

Finding 17.67.040(B): *Parking lot driveways proposed are designed as private drives with standard curb and gutter per Public Works Standard Specification ST-42. The private driveways access North Haskell Street in two locations, which are spaced 100-feet apart and approximately 105-feet from the nearest intersections.*

Conclusion 17.66.040(B): *Consistent.*

C. On-Site Pedestrian and Bicycle Circulation. Attractive access routes for pedestrian travel should be provided by:

1. Reducing distances between destinations or activity areas such as public sidewalks and building entrances. Where appropriate, develop pedestrian routes through sites and buildings to supplement the public right-of-way;
2. Providing an attractive, convenient pedestrian accessway to building entrances;
3. Bridging across barriers and obstacles such as fragmented pathway systems, wide streets, heavy vehicular traffic, and changes in level by connecting pedestrian pathways with clearly marked crossings and inviting sidewalk design;
4. Integrating signage and lighting system which offers interest and safety for pedestrians;
5. Connecting parking areas and destinations with pedestrian paths identified through use of distinctive paving materials, pavement striping, grade separations, or landscaping.

Finding 17.67.040(C): *On-site pedestrian and bicycle circulation is provided along the public sidewalk system on Twin Creeks Crossing, North Haskell Street and Golden Peak Drive. In addition, there is a 10-ft pedestrian pathway proposed to connect the pool house on the Project Site with the Twin Creeks Retirement Center. Internal site pedestrian circulation is accommodated within the private driveway.*

Conclusion 17.66.040(C): *Consistent.*

17.67.050 Site Design Standards.

The following standards and criteria shall be addressed in the master plan, land division, and/or site plan review process:

A. Adjacent Off-Site Structures and Uses.

1. All off-site structures, including septic systems, drain fields, and domestic wells (within one hundred feet) shall be identified and addressed in the master plan, land division, or site plan process in a manner that preserves and enhances the livability and future development needs of off-site structures and uses consistent with the purpose of the TOD district and as necessary to improve the overall relationship of a development or an individual building to the surrounding context.

Finding 17.67.050(A)(1): All off-site structures are identified in the Twin Creeks Master Plan. There are none within 100-feet of the Project Site.

Conclusion 17.66.050(A): Not applicable.

2. Specific infrastructure facilities identified on site in the master plan, land division, and/or site plan shall comply with the underground utility standards set forth in the City of Central Point Department of Public Works Standard Specifications and Uniform Standard Details for Public Works Construction, Section 400, Storm Water Sewer System and, more specifically, Section 420.10.02, Ground Water Control Plan, in order to safeguard the water resources of adjacent uses.

Finding 17.67.050(A)(2): All proposed utility infrastructure has been reviewed by the Public Works Department and determined to comply with all applicable sections of the City of Central Point Department Public Works Standard Specification and Uniform Standard Details for Public Works Construction.

Conclusion 17.66.050(A)(2): Consistent.

B. Natural Features.

1. Buildings should be sited to preserve significant trees.
2. Buildings should be sited to avoid or lessen the impact of development on environmentally critical areas such as steep slopes, wetlands, and stream corridors.
3. Whenever possible, wetlands, groves and natural areas should be maintained as public preserves and as open space opportunities in neighborhoods.

Finding 17.67.050(B): The Project Site is a flat, vacant lot vegetated with a mix of grasses. There are no trees or mapped wetland areas or stream corridors on the site.

Conclusion 17.66.050(B): Not applicable.

C. Topography.

1. Buildings and other site improvements should reflect, rather than obscure, natural topography.
2. Buildings and parking lots should be designed to fit into hillsides, for instance, reducing the need for grading and filling.
3. Where neighboring buildings have responded to similar topographic conditions on their sites in a consistent and positive way, similar treatment for the new structure should be considered.

Finding 17.67.050(C): Topography on the project is relatively flat with a maximum grade variation of 3-feet from the south west corner of the property to the north west corner.

Conclusion 17.66.050(C): Not applicable.

D. Solar Orientation.

1. The building design, massing and orientation should enhance solar exposure for the project, taking advantage of the climate of Central Point for sun-tempered design.
2. Where possible, the main elevation should be facing within twenty-five degrees due south.
3. In residential developments, the location of rooms should be considered in view of solar exposure, e.g., primary living spaces should be oriented south but a west facing kitchen should be avoided as it may result in summer overheating.
4. Outdoor spaces should be strategically sited for solar access and the cooling summer winds.
5. Shadow impacts, particularly in winter on adjacent buildings and outdoor spaces should be avoided.

Finding 17.67.050(D): The proposal maximizes solar orientation to the greatest extent possible within the context of the existing street network. The pool house provides an outdoor patio and pergola that is within 25 degrees due south.

Conclusion 17.66.050(D): Consistent.

E. Existing Buildings on the Site.

1. Where a new building shares the site with an admirable existing building or is a major addition to such a building, the design of the new building should be compatible with the original.
2. New buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.

Finding 17.67.050(E): There are no existing buildings on the site; however the proposed cottage design is architecturally consistent with the single-family and attached row houses in the surrounding neighborhood.

Conclusion 17.66.050(E): Consistent.

- F. New Prominent Structures. Key public or civic buildings, such as community centers, churches, schools, libraries, post offices, and museums, should be placed in prominent locations, such as fronting on public squares or where pedestrian street vistas terminate, in order to serve as landmarks and to symbolically reinforce their importance.

Finding 17.67.050(F): The proposed congregate housing development is not a key public or civic building.

Conclusion 17.66.050(F): Not applicable.

- G. Views. The massing of individual buildings should be adjusted to preserve important views while benefiting new and existing occupants and surrounding neighborhoods.

Finding 17.67.050(G): Views of Table Rock and Mt. McLoughlin were identified in the Twin Creeks TOD Master Plan. The proposed congregate housing project, consisting of single-story attached units is similar in height to surrounding residential units and will not interrupt views enjoyed by the Twin Creeks Retirement Center or neighborhood residents.

Conclusion 17.67.050(G): Consistent.

H. Adjoining Uses and Adjacent Services.

1. When more intensive uses, such as neighborhood commercial or multifamily dwellings, are within or adjacent to existing single-family neighborhoods, care should be taken to minimize the impact of noise, lighting, and traffic on adjacent dwellings.
2. Activity or equipment areas should be strategically located to avoid disturbing adjacent residents.
3. All on-site service areas, loading zones and outdoor storage areas, waste storage, disposal facilities, transformer and utility vaults, and similar activities shall be located in an area not visible from a street or urban space.
4. Screening shall be provided for activities, areas and equipment that will create noise, such as loading and vehicle areas, air conditioning units, heat pumps, exhaust fans, and garbage compactors, to avoid disturbing adjacent residents.
5. Group mailboxes are limited to the number of houses on any given block of development. Only those boxes serving the units may be located on the block. Multiple units of mailboxes may be combined within a centrally located building of four walls that meets the design guidelines for materials, entrance, roof form, windows, etc. The structure must have lighting both inside and out.

Finding 17.67.050(H): The proposed congregate housing facility design is similar with the architectural style and density of surrounding row house development along Golden Peak Drive. All vehicle parking and loading areas are centrally located within the site and therefore screened by buildings and site landscaping and utilities located underground. Group mailboxes are not indicated on the site plan. As conditioned, the applicant is required to submit a revised site plan prior to building permit issuance indicating the location of proposed mailboxes in conformance with this section.

Conclusion 17.67.050(H): Complies as conditioned.

I. Transitions in Density.

1. Higher density, attached dwelling developments shall minimize impact on adjacent existing lower density, single-family dwelling neighborhoods by adjusting height, massing and materials and/or by providing adequate buffer strips with vegetative screens.
2. Adequate buffer strips with vegetative screens shall be placed to mitigate the impact of higher density development on adjacent lower density development.
3. New residential buildings within fifty feet of existing low density residential development shall be no higher than thirty-five feet and shall be limited to single-family detached or attached units, duplexes, triplexes or fourplexes.
4. New commercial buildings within fifty feet of existing low density residential development shall be no higher than forty-five feet.

5. Dwelling types in a TOD district or corridor shall be mixed to encourage interaction among people of varying backgrounds and income levels.
6. Zoning changes should occur midblock, not at the street centerline, to ensure that compatible building types face along streets and within neighborhoods. When dissimilar building types face each other across the street because the zoning change is at the street centerline or more infill housing is desired (for instance, duplexes across the street from single dwellings), design shall ensure similarity in massing, setback, and character.
7. Density should be increased incrementally, to buffer existing neighborhoods from incompatible building types or densities. Sequence density, generally, as follows: large lot single dwelling, small lot single dwelling, duplex, townhomes, courtyard multifamily apartments, large multifamily apartments, and mixed use buildings.

Finding 17.67.050(I): *The congregate housing facility is an expansion of the Twin Creeks Retirement Center located on the parcel to the south west of the Project Site consisting of low density single-story triplex and fourplex buildings. Surrounding parcels to the north west are zoned MMR and are developed with attached and detached single-family residences. The parcels to the north east are vacant and zoned HMR. Streetscape landscaping and on-site perimeter landscaping is adequate to buffer the proposed lower density congregate housing from existing higher density developments.*

Conclusion 17.67.050(I): *Consistent.*

J. Parking.

1. Parking Lot Location.

- a. Off-street surface parking lots shall be located to the side or rear of buildings. Parking at midblock or behind buildings is preferred.
- b. Off-street surface parking lots shall not be located between a front facade of a building and a public street.
- c. If a building adjoins streets or accessways on two or more sides, off-street parking shall be allowed between the building and the pedestrian route in the following order of priority:
 - 1st. Accessways;
 - 2nd. Streets that are non-transit streets.
 - 3rd. Streets that are transit streets.
- d. Parking lots and garages should not be located within twenty feet of a street corner.

Finding 17.67.050(J)(1): *Each unit within the proposed triplex and fourplex buildings provides a rear loaded single car garage that is accessed from a network of internal site driveways. As a result, there are no proposed off-street parking areas between a front façade and a public street.*

Conclusion 17.67.050(J)(1): *Consistent.*

2. Design.

- a. All perimeter and interior landscaped areas must have protective curbs along the edges. Trees must have adequate protection from car doors and bumpers.

- b. A portion of the standard parking space may be landscaped instead of paved. The landscaped area may be up to two feet in front of the space as measured from a line parallel to the direction of the bumper of a vehicle using the space. Landscaping must be ground cover plants. The landscaping does not apply toward any perimeter or interior parking lot landscaping requirements, but does count toward any overall site landscaping requirement.
- c. In order to control dust and mud, all vehicle areas must be paved.
- d. All parking areas must be striped in conformance with the city of Central Point parking dimension standards.
- e. Thoughtful siting of parking and vehicle access should be used to minimize the impact of automobiles on the pedestrian environment, adjacent properties, and pedestrian safety.
- f. Large parking lots should be divided into smaller areas, using, for example, landscaping or special parking patterns.
- g. Parking should be located in lower or upper building levels or in less visible portions of site.

Finding 17.67.050(J)(2): *Off-street parking areas are provided within single-car garages for each unit typical of single-family attached or detached parking area design. The private access drives are 20-feet wide with curb and gutter. Trees are provided behind the curb between each unit's uncovered parking pad.*

Conclusion 17.67.050(J)(2): *Consistent.*

3. Additional Standards for LMR, MMR and HMR Zones.

- a. When parking must be located to the side of buildings, parking frontage should be limited to approximately fifty percent of total site frontage.
- b. Where possible, alleys should be used to bring the vehicle access to the back of the site.
- c. For parking structures, see Section 17.67.070(H).

Finding 17.67.050(J)(3): *See Finding 17.67.050(J)(2).*

Conclusion 17.67.050(J)(2): *Consistent.*

K. Landscaping.

1. Perimeter Screening and Planting.

- a. Landscaped buffers should be used to achieve sufficient screening while still preserving views to allow areas to be watched and guarded by neighbors.
- b. Landscaping should be used to screen and buffer unsightly uses and to separate such incompatible uses as parking areas and waste storage pickup areas.

Finding 17.67.050(K)(1): *Landscaping is provided throughout the site consistent with surrounding single-family uses. Parking areas are not visible from the street.*

Conclusion 17.67.050(K)(1): *Consistent.*

2. Parking Lot Landscaping and Screening.

- a. Parking areas shall be screened with landscaping, fences, walls or a combination thereof.
 - i. Trees shall be planted on the parking area perimeter and shall be spaced at thirty feet on center.
 - ii. Live shrubs and ground cover plants shall be planted in the landscaped area.
 - iii. Each tree shall be located in a four-foot by four-foot minimum planting area.
 - iv. Shrub and ground cover beds shall be three feet wide minimum.
 - v. Trees and shrubs must be fully protected from potential damage by vehicles.

Finding 17.67.050(K)(2)(a): Proposed landscaping is provided for each unit within the congregate housing development consistent with standard single-family lots in the Twin Creeks TOD Master Plan area. As a result the proposal does not include an off-street parking lot; however, proposed landscaping is consistent with the screening standards of this section.

Conclusion 17.67.050(K)(2)(a): Consistent.

- b. Surface parking areas shall provide perimeter parking lot landscaping adjacent to a street that meets one of the following standards:
 - i. A five-foot-wide planting strip between the right-of-way and the parking area. The planting strip may be interrupted by pedestrian-accessible and vehicular accessways. Planting strips shall be planted with an evergreen hedge. Hedges shall be no less than thirty-six inches and no more than forty-eight inches in height at maturity. Hedges and other landscaping shall be planted and maintained to afford adequate sight distance for vehicles entering and exiting the parking lot;
 - ii. A solid decorative wall or fence a minimum of thirty-six inches and a maximum of forty-eight inches in height parallel to and not closer than two feet from the edge of right-of-way. The area between the wall or fence and the pedestrian accessway shall be landscaped. The required wall or screening shall be designed to allow for access to the site and sidewalk by pedestrians and shall be constructed and maintained to afford adequate sight distance as described above for vehicles entering and exiting the parking lot;
 - iii. A transparent screen or grille forty-eight inches in height parallel to the edge of right-of-way. A two-foot minimum planting strip shall be located either inside the screen or between the screen and the edge of right-of-way. The planting strip shall be planted with a hedge or other landscaping. Hedges shall be a minimum thirty-six inches and a maximum of forty inches in height at maturity.
- c. Gaps in a building's frontage on a pedestrian street that are adjacent to off-street parking areas and which exceed sixty-five feet in length shall be reduced to no more than sixty-five feet in length through use of a minimum eight-foot-high screen wall. The screen wall shall be solid, grille, mesh or lattice that obscures at least thirty percent of the interior view (e.g., at least thirty percent solid material to seventy percent transparency).

Finding 17.67.050(K)(2)(b-c): Surface parking areas are not provided adjacent to public streets.

Conclusion 17.67.050(K)(2)(b-c): Not applicable.

d. Parking Area Interior Landscaping.

- i. Amount of Landscaping. All surface parking areas with more than ten spaces must provide interior landscaping complying with one or both of the standards stated below.
 - (A) Standard 1. Interior landscaping must be provided at the rate of twenty square feet per stall. At least one tree must be planted for every two hundred square feet of landscaped area. Ground cover plants must completely cover the remainder of the landscaped area.
 - (B) Standard 2. One tree must be provided for every four parking spaces. If surrounded by cement, the tree planting area must have a minimum dimension of four feet. If surrounded by asphalt, the tree planting area must have a minimum dimension of three feet.

Finding 17.67.050(K)(2)(d)(i): *The proposed landscaping plan includes a total of 14 trees behind the cottages and between uncovered parking areas, exceeding the minimum parking standards 1 and 2.*

Conclusion 17.67.050(K)(2)(d)(i): *Consistent.*

ii. Development Standards for Parking Area Interior Landscaping.

- (A) All landscaping must comply with applicable standards. Trees and shrubs must be fully protected from potential damage by vehicles.
- (B) Interior parking area landscaping must be dispersed throughout the parking area. Some trees may be grouped, but the groups must be dispersed.
- (C) Perimeter landscaping may not substitute for interior landscaping. However, interior landscaping may join perimeter landscaping as long as it extends four feet or more into the parking area from the perimeter landscape line.
- (D) Parking areas that are thirty feet or less in width may locate their interior landscaping around the edges of the parking area. Interior landscaping placed along an edge is in addition to any required perimeter landscaping.

Finding 17.67.050(K)(2)(d)(ii): *The proposed landscaping plan provides for 14 trees dispersed throughout the multifamily congregate housing development and complies with the applicable standards of this section.*

Conclusion 17.67.050(K)(2)(d)(ii): *Consistent.*

3. Landscaping Near Buildings. Landscaping shall serve as a screen or buffer to soften the appearance of structures or uses such as parking lots or large blank walls, or to increase the attractiveness of common open spaces.

Finding 17.67.050(K)(3): *The proposed landscaping plan provides a mix of trees, shrubs and ground covers along the frontage, sides (where applicable) and rear of the proposed buildings and parking areas consistent with this requirement.*

Conclusion 17.67.050(K)(3): *Consistent.*

4. Service Areas. Service areas, loading zones, waste disposal or storage areas must be fully screened from public view.
 - a. Prohibited screening includes chain-link fencing with or without slats.
 - b. Acceptable screening includes:
 - i. A six-foot masonry enclosure, decorative metal fence enclosure, a wood enclosure, or other approved materials complementary to adjacent buildings; or
 - ii. A six foot solid hedge or other plant material screening as approved.

Finding 17.67.050(K)(4): *There are no service areas or loading zones indicated on the site plan. As conditioned, the applicant will be required to provide a revised site plan prior to building permit issuance demonstrating compliance with the requirements for service areas.*

Conclusion 17.67.050(K)(4): *Complies as conditioned.*

5. Street Trees. Street trees shall be required along both sides of all public streets with a spacing of twenty feet to forty feet on center depending on the mature width of the tree crown, and planted a minimum of two feet from the back of curb. Trees in the right-of-way or sidewalk easements shall be approved according to size, quality, and tree well design, if applicable, and irrigation shall be required. Tree species shall be chosen from the city of Central Point approved street tree list.

Finding 17.67.050(K)(5): *Street trees are provided in accordance with the Twin Creeks TOD Master Plan, which was found to be compliant with this section when originally approved.*

Conclusion 17.67.050(K)(5): *Consistent.*

L. Lighting.

1. Minimum Lighting Levels. Minimum lighting levels shall be provided for public safety in all urban spaces open to public circulation.
 - a. A minimum average light level of one and two-tenths foot candles is required for urban spaces and sidewalks.
 - b. Metal-halide or lamps with similar color, temperature and efficiency ratings shall be used for general lighting at building exteriors, parking areas, and urban spaces. Sodium-based lamp elements are not allowed.
 - c. Maximum lighting levels should not exceed six foot candles at intersections or one and one-half foot candles in parking areas.
2. Fixture Design in Public Rights-of-Way.
 - a. Pedestrian-scale street lighting shall be provided including all pedestrian streets along arterials, major collectors, minor collectors and local streets.
 - b. Pedestrian street lights shall be no taller than twenty feet along arterials and collectors, and sixteen feet along local streets.
3. On-Site Lighting. Lighting shall be incorporated into the design of a project so that it reinforces the pedestrian environment, provides continuity to an area, and enhances the drama and presence of architectural features. Street lighting should be provided along sidewalks and in medians.

Selected street light standards should be appropriately scaled to the pedestrian environment. Adequate illumination should be provided for building entries, corners of buildings, courtyards, plazas and walkways.

- a. Accessways through surface parking lots shall be well lighted with fixtures no taller than twenty feet.
- b. Locate and design exterior lighting of buildings, signs, walkways, parking lots, and other areas to avoid casting light on nearby properties.
- c. Fixture height and lighting levels shall be commensurate with their intended use and function and shall assure compatibility with neighboring land uses. Baffles shall be incorporated to minimize glare and to focus lighting on its intended area.
- d. Additional pedestrian-oriented site lighting including step lights, well lights and bollards shall be provided along all courtyard lanes, alleys and off-street bike and pedestrian pathways.
- e. In addition to lighting streets, sidewalks, and public spaces, additional project lighting is encouraged to highlight and illuminate building entrances, landscaping, parks, and special features.

Finding 17.67.050(L)(1-3): *Lighting fixtures were installed in the public right-of-way per the Twin Creeks TOD Master Plan prior to final plat approval of Twin Creeks Crossing Phase I. Internal site lighting is not shown on the site or utility plan; however, the applicant has indicated that wall-mounted lighting fixtures will be provided on the garage walls internal to the site and the pool building. Porch lighting will also be provided for each unit consistent with the standards of this section.*

Conclusion 17.67.050(L)(1-3): *Consistent.*

M. Signs.

Finding 17.67.050(M): *Signage is not included in the proposal.*

Conclusion 17.67.050(M): *Not applicable.*

17.67.060 Public Parks and Open Space Design Standards.

- A. General. Parks and open spaces shall be provided in the TOD districts and TOD corridors and shall be designed to accommodate a variety of activities ranging from active play to passive contemplation for all ages and accessibility.
- B. Parks and Open Space Location.
- C. Parks and Open Space Amount and Size.
- D. Parks and Open Space Design.

Finding 17.67.060(A-D): *The Parks and open space requirements were addressed as part of the Master Plan. No additional parks and open space is proposed as part of the current application; however, passive and active recreation is being offered to residents of the congregate housing by the proposed indoor pool and outdoor patio area.*

Conclusion 17.67.060(J)(2): *Not applicable.*

17.67.070 Building Design Standards.

A. General Design Requirements.

1. In recognition of the need to use natural resources carefully and with maximum benefit, the use of “sustainable design” practices is strongly encouraged. In consideration of the climate and ecology of the Central Point area, a variety of strategies can be used to effectively conserve energy and resources:
 - a. Natural ventilation;
 - b. Passive heating and cooling;
 - c. Daylighting;
 - d. Sun-shading devices for solar control;
 - e. Water conservation;
 - f. Appropriate use of building mass and materials; and,
 - g. Careful integration of landscape and buildings. It is recommended that an accepted industry standard such as the U.S. Green Building Council’s LEED™ program be used to identify the most effective strategies. (Information on the LEED™ program can be obtained from the U.S. Green Building Council’s website, www.usgbc.org.)
2. All development along pedestrian routes shall be designed to encourage use by pedestrians by providing a safe, comfortable, and interesting walking environment.
3. Convenient, direct and identifiable building access shall be provided to guide pedestrians between pedestrian streets, accessways, transit facilities and adjacent buildings.
4. Adequate operable windows or roof-lights should be provided for ventilation and summer heat dissipation.

Finding 17.67.070(A): *Pedestrian routes are designed in accordance with the Master Plan. Streetscape and building frontage landscaping is provided.*

Conclusion 17.67.070(A): *Consistent.*

B. Architectural Character.

1. General.
 - a. The architectural characteristics of surrounding buildings, including historic buildings, should be considered, especially if a consistent pattern is already established by similar or complementary building articulation, building scale and proportions, setbacks, architectural style, roof forms, building details and fenestration patterns, or materials. In some cases, the existing context is not well defined, or may be undesirable. In such cases, a well-designed new project can establish a pattern or identity from which future development can take its cues.
 - b. Certain buildings, because of their size, purpose or location, should be given prominence and distinct architectural character, reflective of their special function or position. Examples of these special buildings include theaters, hotels, cultural centers, and civic buildings.
 - c. Attention should be paid to the following architectural elements:

- i. Building forms and massing;
- ii. Building height;
- iii. Rooflines and parapet features;
- iv. Special building features (e.g. towers, arcades, entries, canopies, signs and artwork);
- v. Window size, orientation and detailing;
- vi. Materials and color; and
- vii. The building's relationship to the site, climate topography and surrounding buildings.

2. Commercial and High Mix Residential.

Finding 17.67.070(B)(2): *The proposed congregate housing project does not include any commercial or high mix residential development.*

Conclusion 17.67.070(J)(2): *Not applicable.*

C. Building Entries.

1. General.

- a. The orientation of building entries shall:
 - i. Orient the primary entrance toward the street rather than the parking lot;
 - ii. Connect the building's main entrance to the sidewalk with a well-defined pedestrian walkway.
- b. Building facades over two hundred feet in length facing a street shall provide two or more public building entrances off the street.
- c. All entries fronting a pedestrian accessway shall be sheltered with a minimum four-foot overhang or shelter.
- d. An exception to any part of the requirements of this section shall be allowed upon finding that:
 - i. The slope of the land between the building and the pedestrian street is greater than 1:12 for more than twenty feet and that a more accessible pedestrian route to the building is available from a different side of the building; or
 - ii. The access is to a courtyard or clustered development and identified pedestrian accessways are provided through a parking lot to directly connect the building complex to the most appropriate major pedestrian route(s).

Finding 17.67.070(C)(1): *Building entries are provided for each unit of the triplex and fourplex buildings. Entries are oriented toward public streets consistent with applicable standards in this section.*

Conclusion 17.67.070(C)(1): *Consistent.*

2. Commercial and High Mix Residential.

Finding 17.67.070(C)(2): *The proposed congregate housing project does not include any commercial or high mix residential development.*

Conclusion 17.67.070(C)(2): *Not applicable.*

3. Residential.

- a. The main entrance of each primary structure should face the street the site fronts on, except on corner lots, where the main entrance may face either of the streets or be oriented to the corner. For attached dwellings, duplexes, and multi-dwellings that have more than one main entrance, only one main entrance needs to meet this guideline. Entrances that face a shared landscaped courtyard are exempt.
- b. Residential buildings fronting on a street shall have an entrance to the building opening on to the street.
 - i. Single-family detached, attached and row house/townhouse residential units fronting on a pedestrian street shall have separate entries to each dwelling unit directly from the street.
 - ii. Ground floor and upper story dwelling units in a multifamily building fronting a street may share one or more building entries accessible directly from the street, and shall not be accessed through a side yard except for an accessory unit to a single-family detached dwelling.
- c. The main entrances to houses and buildings should be prominent, interesting, and pedestrian-accessible. A porch should be provided to shelter the main entrance and create a transition from outdoor to indoor space.
- d. Generally, single-dwelling porches should be at least eight feet wide and five feet deep and covered by a roof supported by columns or brackets. If the main entrance is to more than one dwelling unit, the covered area provided by the porch should be at least twelve feet wide and five feet deep.
- e. If the front porch projects out from the building, it should have a roof pitch which matches the roof pitch of the house. If the porch roof is a deck or balcony, it may be flat.
- f. Building elevation changes are encouraged to make a more prominent entrance. The maximum elevation for the entrance should not be more than one-half story in height, or six feet from grade, whichever is less.
- g. The front entrance of a multi-dwelling complex should get architectural emphasis, to create both interest and ease for visual identification.

Finding 17.67.070(C)(3): *Building entries for each unit of the triplex and fourplex structures face a public street. Covered porches provided for each unit are 5-feet wide by 11-feet long, which exceeds the minimum requirements of this section.*

Conclusion 17.67.070(C)(3): *Consistent.*

D. Building Facades.

1. General.

- a. All building frontages greater than forty feet in length shall break any flat, monolithic facade by including discernible architectural elements such as, but not limited to: bay windows, recessed entrances and windows, display windows, cornices, bases, pilasters, columns or other architectural details or articulation combined with changes in materials, so as to provide visual interest and a sense of division, in addition to creating community character and pedestrian scale. The overall design shall recognize that the simple relief provided by window cutouts or sills on an otherwise flat facade, in and of itself, does not meet the requirements of this subsection.
- b. Building designs that result in a street frontage with a uniform and monotonous design style, roofline or facade treatment should be avoided.
- c. Architectural detailing, such as but not limited to, trellis, long overhangs, deep inset windows, should be incorporated to provide sun-shading from the summer sun.
- d. To balance horizontal features on longer facades, vertical building elements shall be emphasized.
- e. The dominant feature of any building frontage that is visible from a pedestrian street or public open space shall be the habitable area with its accompanying windows and doors. Parking lots, garages, and solid wall facades (e.g., warehouses) shall not dominate a pedestrian street frontage.
- f. Developments shall be designed to encourage informal surveillance of streets and other public spaces by maximizing sight lines between the buildings and the street.
- g. All buildings, of any type, constructed within any TOD district or corridor shall be constructed with exterior building materials and finishes that are of high quality to convey permanence and durability.
- h. The exterior walls of all building facades along pedestrian routes, including side or return facades, shall be of suitable durable building materials including the following: stucco, stone, brick, terra cotta, tile, cedar shakes and shingles, beveled or ship-lap or other narrow-course horizontal boards or siding, vertical board-and-batten siding, articulated architectural concrete or concrete masonry units (CMU), or similar materials which are low maintenance, weather-resistant, abrasion-resistant, and easy to clean. Prohibited building materials include the following: plain concrete, plain concrete block, corrugated metal, unarticulated board siding (e.g., T1-11 siding, plain plywood, sheet pressboard), Exterior Insulated Finish Systems (EIFS), and similar quality, nondurable materials.
- i. All visible building facades along or off a pedestrian route, including side or return facades, are to be treated as part of the main building elevation and articulated in the same manner. Continuity of use of the selected approved materials must be used on these facades.
- j. Ground-floor openings in parking structures, except at points of access, must be covered with grilles, mesh or lattice that obscures at least thirty percent of the interior view (e.g., at least thirty percent solid material to seventy percent transparency).
- k. Appropriately scaled architectural detailing, such as but not limited to moldings or cornices, is encouraged at the roofline of commercial building facades, and where such detailing is present, should be a minimum of at least eight inches wide.

1. Compatible building designs along a street should be provided through similar massing (building facade, height and width as well as the space between buildings) and frontage setbacks.

Finding 17.67.070(D)(1): *The front façade for each triplex building (81-ft façade) and four fourplex (112-ft façade) provides architectural detailing and massing consistent with the requirements of this section. Each of the units is defined by a gable roof with a 6:12 pitch as the primary distinguishing feature. Architectural elements include recessed and covered porches, gable offsets and window configuration, including bay windows. Proposed building materials include cedar shingles and narrow-course siding.*

Conclusion 17.67.070(D)(1): *Consistent.*

2. Commercial and High Mix Residential/Commercial.

Finding 17.67.070(D)(2): *The proposed congregate housing project does not include any commercial or high mix residential development.*

Conclusion 17.67.070(D)(2): *Not applicable.*

3. Residential.

- a. The facades of single-family attached and detached residences (including duplexes, triplexes, fourplexes, townhouses, and row houses) shall comply with the following standards:

- i. No more than forty percent of the horizontal length of the ground floor front elevation of a single-family detached or attached dwelling shall be an attached garage.
- ii. When parking is provided in a garage attached to the primary structure and garage doors face the street the front of the garage should not take up more than forty percent of the front facade in plan, and the garage should be set back at least ten feet from the front facade. If a porch is provided, the garage may be set back ten feet from the front of the porch. In addition, garage doors that are part of the street-facing facade of a primary structure should not be more than eighty square feet in area, and there should not be more than one garage door for sixteen feet of building frontage.

Finding 17.67.070(D)(3)(a)(i-ii): *Each unit includes an attached garage along the rear elevation of each unit.*

Conclusion 17.67.070(D)(3)(a)(i-ii): *Not applicable.*

- iii. Residential building elevations facing a pedestrian route shall not consist of undifferentiated blank walls, but shall be articulated with architectural details such as windows, dormers, porch details, balconies or bays.

Finding 17.67.070(D)(3)(a)(iii): *Dwelling units facing the pedestrian accessway to the south west have a singular wall face articulated with windows and a covered porch.*

Conclusion 17.67.070(D)(3)(a)(iii): *Consistent.*

- iv. For any exterior wall which is within twenty feet of and facing onto a street or public open space and which has an unobstructed view of that pedestrian street or

public open space, at least twenty percent of the ground floor wall area shall be comprised of either display area, windows, or doorways.

Finding 17.67.070(D)(3)(a)(iv): Units facing on to the adjoining public accessway are within 5-ft of the public open space area and pathway. Each of these two units has a wall face totaling 560 s.f. and each provides 108 s.f. in window area (19.3% glazing). The proposal is substantially compliant with the twenty-percent window and doorway requirement.

Conclusion 17.66.070(D)(3)(a)(iv): Consistent.

- v. Architectural detailing is encouraged to provide variation among attached units. Architectural detailing includes but is not limited to the following: the use of different exterior siding materials or trim, shutters, different window types or sizes, varying roof lines, balconies or porches, and dormers. The overall design shall recognize that color variation, in and of itself, does not meet the requirements of this subsection.

Finding 17.67.070(D)(3)(a)(v): See Finding 17.67.070(D)(3)(a)(i-ii).

Conclusion 17.67.070(D)(3)(a)(i-ii): Consistent.

- vi. Fences or hedges in a front yard shall not exceed three feet in height. Side yard fencing shall not exceed three feet in height between the front building facade and the street. Fences beyond the front facade of the building in a side yard or back yard and along a street, alley, property line, or bike/pedestrian pathway shall not exceed four feet in height. Fences over four feet in height are not permitted and hedges or vegetative screens in no case shall exceed six feet in height.

Finding 17.67.070(D)(3)(a)(v): Fences are not proposed for the congregate housing facility. Any future fence construction shall comply with the fence standards set forth in this section.

Conclusion 17.67.070(D)(3)(a)(i-ii): Not applicable.

b. The facades of multifamily residences shall comply with the following standards:

- i. Building elevations, including the upper stories, facing a pedestrian route shall not consist of undifferentiated blank walls, but shall be articulated with architectural detailing such as windows, balconies, and dormers.

Finding 17.67.070(D)(3)(a)(v): See Finding 17.67.070(D)(3)(a)(iv).

Conclusion 17.67.070(D)(3)(a)(i-ii): Consistent.

- ii. For any exterior wall which is within twenty feet of and facing onto a pedestrian street or public open space and which has an unobstructed view of that pedestrian street or public open space, at least twenty percent of the ground floor wall area shall be comprised of either display area, windows, or doorways.

Finding 17.67.070(D)(3)(a)(v): See Finding 17.67.070(D)(3)(a)(iv).

Conclusion 17.67.070(D)(3)(a)(i-ii): Consistent.

- iii. Arcades or awnings should be provided over sidewalks where ground floor retail or commercial exists, to shelter pedestrians from sun and rain.

Finding 17.67.070(D)(3)(a)(v): *Ground floor retail and commercial uses are not proposed as part of the congregate housing development.*

Conclusion 17.67.070(D)(3)(a)(i-ii): *Not applicable.*

E. Roofs.

1. Commercial and High Mix Residential/Commercial.

Finding 17.67.070(E)(1): *The proposed congregate housing project does not include any commercial or high mix residential development.*

Conclusion 17.67.070(E)(1): *Not applicable.*

2. Residential.

- a. Flat roofs with a parapet and cornice are allowed for multifamily residences in all TOD, LMR, MMR and HMR districts, in which the minimum for sloped roofs is 5:12.
- b. Flat roofs with a parapet and cornice are allowed for single-family attached and detached residences (including duplexes, triplexes, fourplexes, townhouses, and row houses) in all TOD residential districts, except the LMR zone.
- c. For all residences with sloped roofs, the roof slope shall be at least 5:12, and no more than 12:12. Eaves shall overhang building walls at a minimum twelve inches deep on all sides (front, back, sides) of a residential structure.
- d. Roof shapes, surface materials, colors, mechanical equipment and other penthouse functions should be integrated into the total building design. Roof terraces and gardens are encouraged.

Finding 17.67.070(E)(2): *The proposed multifamily plexes are designed as attached row houses with gable roofs distinguishing each unit. The proposed roof pitch is 6:12, which meets the standards of this section.*

Conclusion 17.67.070(E)(2): *Consistent.*

F. Exterior Building Lighting.

1. Commercial and High Mix Residential/Commercial.

Finding 17.67.070(F)(1): *The proposed congregate housing project does not include any commercial or high mix residential development.*

Conclusion 17.67.070(F)(1): *Not applicable.*

2. Residential.

- a. Lighting shall not draw inordinate attention to the building facade.
- b. Porch and entry lights are encouraged on all dwellings to create a safe and inviting pedestrian environment at night.

- c. No exterior lighting exceeding one hundred watts per fixture is permitted in any residential area.

***Finding 17.67.070(F)(2):** Per the applicant, lighting will consist of porch lights for each unit, as well as wall mounted lighting on the garage wall face. Additional lighting will be provided on the walls of the pool house consistent with this requirements of this section.*

***Conclusion 17.67.070(F)(2):** Consistent.*

G. Service Zones.

1. Buildings and sites shall be organized to group the utilitarian functions away from the public view.
2. Delivery and loading operations, mechanical equipment (HVAC), trash compacting/collection, and other utility and service functions shall be incorporated into the overall design of the building(s) and the landscaping.
3. The visual and acoustic impacts of these functions, along with all wall- or ground-mounted mechanical, electrical and communications equipment, shall be out of view from adjacent properties and public pedestrian streets.
4. Screening materials and landscape screens shall be architecturally compatible with and not inferior to the principal materials of the building.

***Finding 17.67.070(F)(2):** Service areas are not identified on the proposed site plan. Per the applicant, service areas will be provided in accordance with the requirements of this section.*

***Conclusion 17.67.070(F)(2):** Complies as conditioned.*

17.72.020 Applicability

No permit required under Title 15, Buildings and Construction, shall be issued for a major or minor project, as defined in this section, unless an application for site plan and architectural review is submitted and approved, or approved with conditions, as set forth in this chapter.

- A. Exempt Projects. Except as provided in subsection (B)(3) of this section the following projects do not require site plan and architectural review:
 1. Single-family detached residential structures;
 2. Any multiple-family residential project containing three or less units;
 3. Landscape plans, fences, when not part of a major project;
 4. Storage sheds, patio covers, garages and carports, decks, gazebos, and similar non-occupied structures used in conjunction with residential uses; and
 5. Signs that conform to a previously approved master sign program for the project site.

Exempt projects are required to comply with all applicable development standards of this chapter.

B. Major Projects. The following are “major projects” for the purposes of the site plan and architectural review process and are subject to Type 2 procedural requirements as set forth in Chapter 17.05, Applications and Types of Review Procedures:

1. New construction, including private and public projects, that:

- a. Includes a new building or building addition of five thousand square feet or more;
 - b. Includes the construction of a parking lot of ten or more parking spaces; or
 - c. Requires one or more variances or conditional use permits and, in the judgment of the director, will have a significant effect upon the aesthetic character of the city or the surrounding area;
2. Any attached residential project that contains four or more units;
 3. Any minor project, as defined in subsection C of this section, that the director determines will significantly alter the character, appearance, or use of a building or site.

C. Minor Projects. Except when determined to be an exempt project or a major project pursuant to subsections A and B of this section respectively, the following are defined as “minor projects” for the purposes of site plan and architectural review, and are subject to the Type I procedural requirements of Chapter 17.05, Applications and Types of Review Procedures:

1. New construction, including private and public projects, that involves a new building or building addition of less than five thousand square feet;
2. Signs that meet all applicable standards as set forth in Section 17.75.050, Signage standards;
3. Exterior remodeling within the commercial or industrial zoning districts when not part of a major project;
4. Parking lots less than ten parking spaces;
5. Any project relating to the installation of cabinets containing communications service equipment or facilities owned and operated by a public utility and not subject to Section 17.60.040, Antenna standards;
6. Minor changes to the following:
 - a. Plans that have previously received site plan and architectural review approval;
 - b. Previously approved planned unit developments;
7. At the discretion of the director any changes to previously approved plans requiring site plan and architectural review.

As used in this subsection, the term “minor” means a change that is of little visual significance, does not materially alter the appearance of previously approved improvements, is not proposed for the use of the land in question, and does not alter the character of the structure involved. At the discretion of the director if it is determined that the cumulative effect of multiple minor changes would result in a major change, a new application for site plan and architectural review is required. All minor changes must comply with the development standards of this chapter.

Finding 17.72.020: *The proposed Twin Creeks Retirement Cottages congregate housing project includes new construction greater than 5,000 s.f. and qualifies as a Major Project. It is being processed using Type II administrative procedures.*

Conclusion 17.72.020: *Consistent.*

17.72.030 Information Required

Application for site plan and architectural review shall be made to the community development department and shall be accompanied by the application fee prescribed in the city of Central Point planning department fee schedule. The application shall be completed, including all information and submittals listed on the official site plan and architectural review application form.

***Finding 17.72.030:** The Twin Creeks Retirement Cottages application was reviewed for completeness and accepted as complete per the notice of completion dated April 7, 2015.*

***Conclusion 17.72.030:** Consistent.*

17.72.040 Site Plan and Architectural Standards

In approving, conditionally approving or denying any site plan and architectural review application, the approving authority shall base its decision on compliance with the following standards:

- A. Applicable site plan, landscaping and architectural design standards as set forth in Chapter 17.75, Design and Development Standards.

***Finding 17.72.040(A):** The project proposal has been reviewed against applicable criteria set forth in Chapter 17.75 and found to comply.*

***Conclusion 17.72.040(A):** Consistent.*

- B. City of Central Point Department of Public Works Department Standard Specifications and Uniform Standard Details for Public Works Construction.

***Finding 17.72.040(B):** The Parks & Public Works Department reviewed the application for compliance with the Standard Specifications and Uniform Standards Details for Public Works Construction and found it to be compliant.*

***Conclusion 17.72.040(B):** Consistent.*

- C. Accessibility and sufficiency of firefighting facilities to such a standard as to provide for the reasonable safety of life, limb and property, including, but not limited to suitable gates, access roads and fire lanes so that all buildings on the premises are accessible to fire apparatus.

***Finding 17.72.040(B):** Fire District #3 evaluated the proposal and determined that adequate water supply and access are sufficient, provided that additional review will occur at the building plan submittal.*

***Conclusion 17.72.040(B):** Complies.*

**PART 3
SUMMARY CONCLUSION**

As evidenced in findings and conclusions, the proposed Twin Creeks Retirement Center Cottages site plan and architectural plan is consistent with applicable standards and criteria in the Central Point Municipal Code as conditioned.