ABBREVIATIONS

INTERIOR ELEVATIONS;

DETAIL & SHEET WHERE DRAWN

- ELEVATION MARKER

REVISION CLOUD

7 PARTITION TYPE

REVISION NUMBER

STRUCTURAL COLUMN REFERENCE GRID

ALIGN FACE OF FINISH AS SHOWN

INTERIOR ELEVATION NUMBER

SECTION NUMBER

SHEET WHERE DRAWN

A6 DETAIL NUMBER SHEET WHERE DRAWN

DOOR NUMBER

WINDOW NUMBER

BUILDING ELEVATION

— ELEVATION NUMBER —SHEET WHERE DRAWN

AREA OF DETAIL



VICINITY MAP

A5 VICIN NO SCALE

DRAWING INDEX

COMMERCIAL **DEVELOPMENT** CENTRAL POINT, OR (SPAR SUBMITTAL)

S+B JAMES CONSTRUCTION MANAGEMENT

ESIGN-BUILDER:

8425 Agate Road

Tel: (541)826-5668

Fax: (541)826-5536

CONSULTANT:

ARCHITECT:

White City, OR 97503

SB JAMES

SAMUEL UCCELLO, AIA, NCARB

E-mail: samueluccello@sbjames.com

PRINT DATE: 6/9/2023 3:33 PM

3144 WALNUT HILL LANE, SUITE 1200

CONTACT: COLEMAN GLASS, VP

ENTRAL POINT, OREGON 97502

REVISIONS

06/09/2023 SPAR SUBMITTAL

05/03/2023 PRE-APP SUBMITTAL

ARKER DATE DESCRIPTION

00/00/00

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SBJ PROJECT NO.: M23-5670

JCS / BGW / SRU

CYPRESS EQUITIES

DALLAS, TX 75231

H: (214) 450-8508

ROJECT ADDRESS:

SUPERMARKET

4501 BIDDLE ROAD

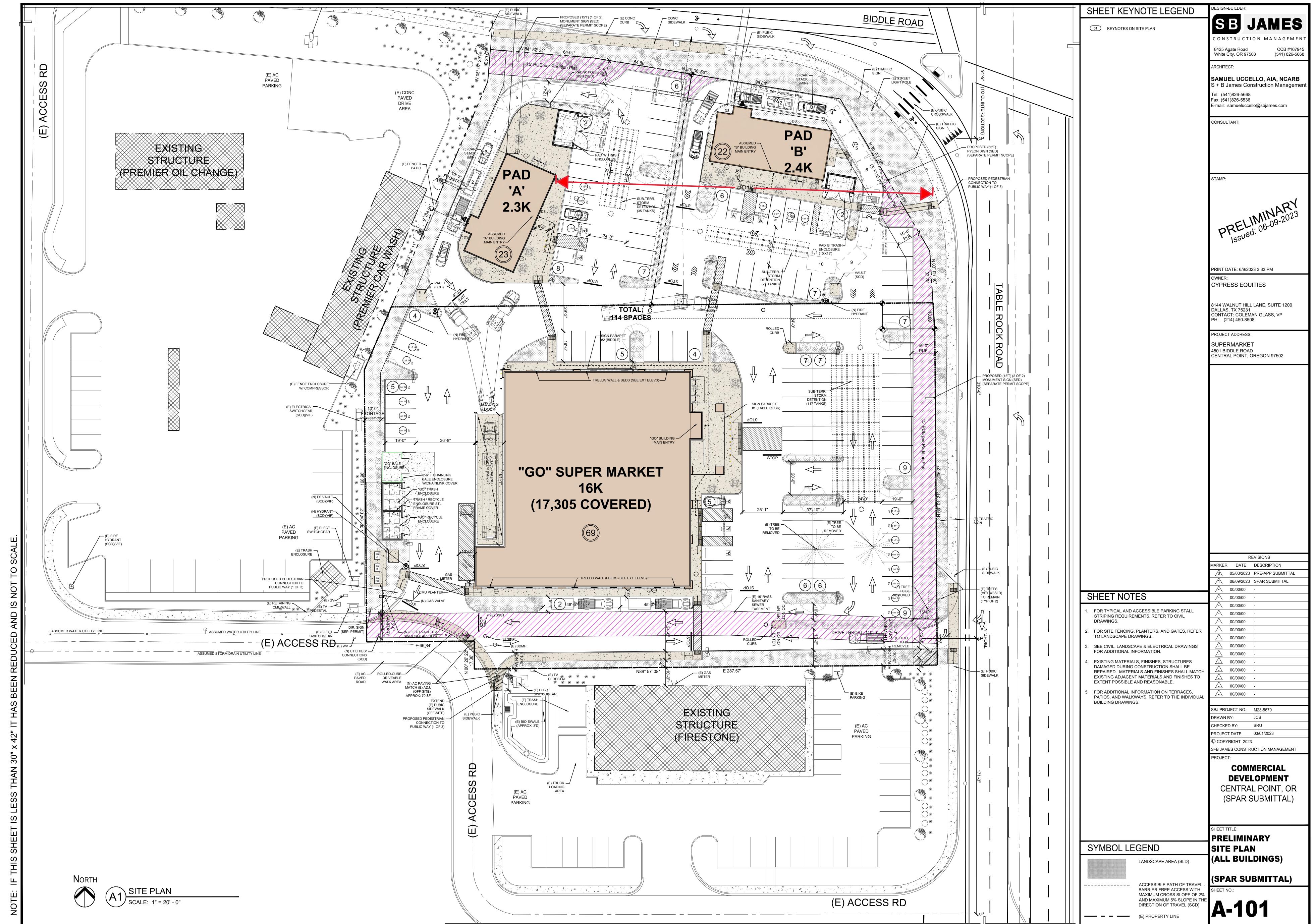
S + B James Construction Managemen

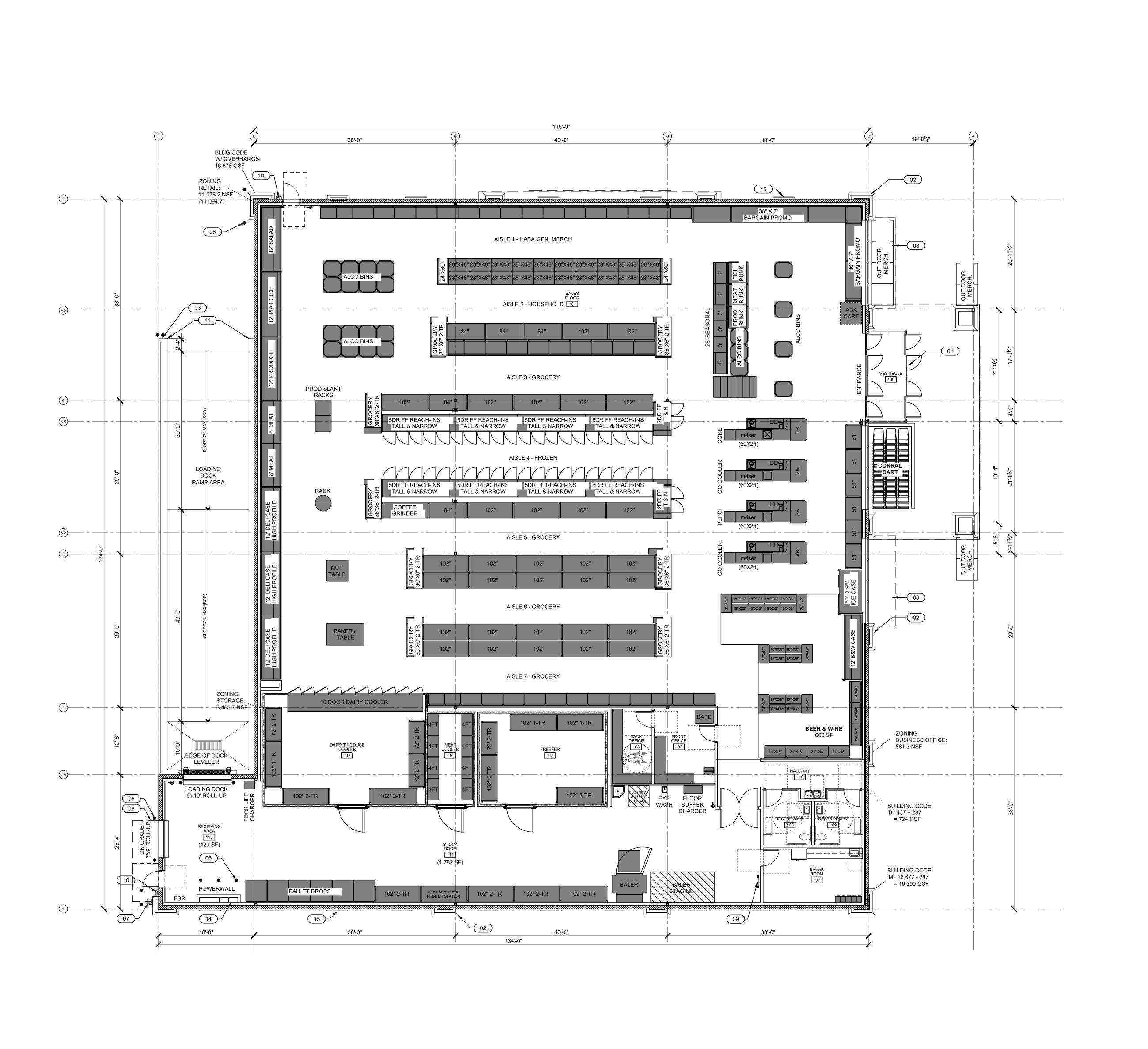
CCB #167945

(541) 826-5668

PRELIM. COVER SHEET, DRAWING INDEX, VICINITY MAP, CODES, PROJECT TEAM, AND **ABBREVIATIONS**

A-001





SHEET KEYNOTE LEGEND DESIGN-BUILDER: 01 MAIN ENTRY: VARIES BY BUILDING SM: SLIDING STOREFRONT ASSEMBLY W/ EGRESS BREAK-AWAY CONSTRUCTION MANAGEMENT PADS: SWINING STOREFRONT 8425 Agate Road White City, OR 97503 02 PILASTERS (SEE EXTERIOR ELEVATIONS) CCB #167945 (541) 826-5668 03 LOADING DOCK W/ PROTECTIVE GUARDRAIL

> ARCHITECT: SAMUEL UCCELLO, AIA, NCARB S + B James Construction Management

Tel: (541)826-5668 Fax: (541)826-5536 E-mail: samueluccello@sbjames.com

(W/ PTD STEÈL BÓLLARD / SEE SITE PLAN) CONSULTANT: 08 EDGE OF ROOF ABOVE (SEE ROOF PLAN) 09 MECH. PLATFORM ACCESS LADDER

10 DOWNSPOUT (SEE EXT. ELEVS)(SCD) 11 1'-0"DEEP x 6"H PROTECTION CURB @ PERIMETER OF LOADING DOCK AREA

12 ROOF ACCESS LADDER (SEE EXT. ELEVATIONS)

13 DRIVE-THRU DELIVERY WINDOW (SEE EXT. ELEVATIONS & SITE PLAN)

14 INTERIOR BLDG POWER PANELS (SCD)

15 WALL-MTD LANDSCAPE TRELLIS (SLD) (SEE EXTERIOR ELEVATIONS)

04 6'T PTD CMU TRASH ENCLOSURE (TYP)

06 PTD STL CONC FILLED BOLLARD (SCD)

WALL MTD PTD STL (SEE DETAIL) (NOTE: ROOF ACCESS ABOVE)

(W/ PTD STEEL GATES)

05 6'T CHAIN LINK BALE STORAGE

07 GAS METER (SCD)

(W/ CHAINLINK "ROOF")

PRINT DATE: 6/9/2023 3:33 PM

CYPRESS EQUITIES

8144 WALNUT HILL LANE, SUITE 1200 DALLAS, TX 75231 CONTACT: COLEMAN GLASS, VP PH: (214) 450-8508

PROJECT ADDRESS: SUPERMARKET

4501 BIDDLE ROAD CENTRAL POINT, OREGON 97502

ARKER DATE DESCRIPTION 05/03/2023 PRE-APP SUBMITTAL 06/09/2023 | SPAR SUBMITTAL 00/00/00 00/00/00 00/00/00 00/00/00 00/00/00 00/00/00 00/00/00 00/00/00 00/00/00 00/00/00 00/00/00 00/00/00 00/00/00 00/00/00

BGW / JCS

SBJ PROJECT NO.: M23-5670

PROJECT DATE: 00/00/2021

S+B JAMES CONSTRUCTION MANAGEMENT

COMMERCIAL

DEVELOPMENT

CENTRAL POINT, OR

(SPAR SUBMITTAL)

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REVISIONS

SHEET NOTES

CONTRACTOR SHALL DISCONNECT & SAFE-OFF ALL UTILITIES 48 HOURS PRIOR TO START OF DEMOLITION

CONTRACTOR SHALL CAP EXISTING ELECTRICAL & PLUMBING LINES TO BE ABANDONED A MINIMUM OF TWO INCHES BELOW THE FINISH FLOOR SLAB ELEVATION. CONTRACTOR SHALL REVIEW ALL STRUCTURAL, MECHANICAL, PLUMBING, & ELECTRICAL DRAWINGS FOR RELATED INFORMATION.

CONTRACTOR SHALL DISPOSE OF ALL DEBRIS IN ACCORDANCE WITH FEDERAL, STATE, & LOCAL LAWS &

ALL DIMENSIONS SHOWN ARE TO FACE OF STUD, UON.

COORDINATE ANY DISCREPANCIES WITH ARCHITECT PRIOR TO CONSTRUCTION. REFER TO FLOOR PLAN, INTERIOR, AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.

REFER TO ENLARGED PLANS FOR ADDITIONAL

INTERIOR PARTITIONS ARE TYPE 1 UON. SEE INTERIOR DESIGN DRAWINGS FOR INTERIOR

SYMBOL LEGEND

2-HR FIRE RATED SEPARATION WALL FIRE BARRIER, THIS WALL, SEE DETS & WALL PARTITION TYPE 7

LIMIT OF SCOPE OF WORK (E) DOOR & WALL

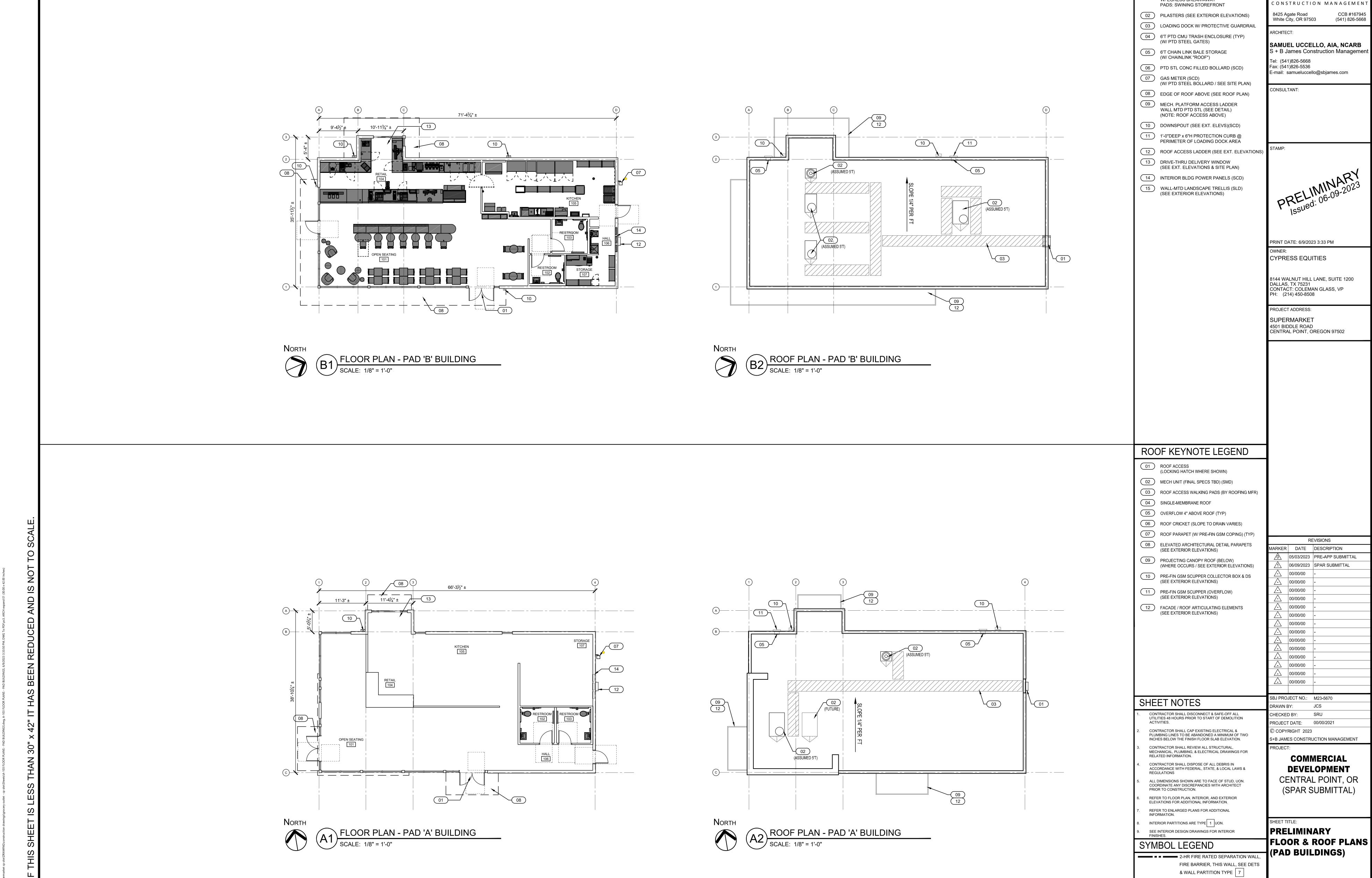
(N) DOOR & WALL

(SUPERMARKET)

PRELIMINARY

FLOOR PLAN

SHEET TITLE:



SHEET KEYNOTE LEGEND

SM: SLIDING STOREFRONT ASSEMBLY

01 MAIN ENTRY: VARIES BY BUILDING

W/ EGRESS BREAK-AWAY

LIMIT OF SCOPE OF WORK

(E) DOOR & WALL

(N) DOOR & WALL

A-103

DESIGN-BUILDER:

ROOF KEYNOTE LEGEND

01 ROOF ACCESS (LOCKING HATCH WHERE SHOWN)

02 MECH UNIT (FINAL SPECS TBD) (SMD)

03 ROOF ACCESS WALKING PADS (BY ROOFING MFR)

04 SINGLE-MEMBRANE ROOF

05 OVERFLOW 4" ABOVE ROOF (TYP) 06 ROOF CRICKET (SLOPE TO DRAIN VARIES)

07 ROOF PARAPET (W/ PRE-FIN GSM COPING) (TYP)

08 ELEVATED ARCHITECTURAL DETAIL PARAPETS (SEE EXTERIOR ELEVATIONS) 09 PROJECTING CANOPY ROOF (BELOW)

(WHERE OCCURS / SEE EXTERIOR ELEVATIONS)

10 PRE-FIN GSM SCUPPER COLLECTOR BOX & DS (SEE EXTERIOR ELEVATIONS)

PRE-FIN GSM SCUPPER (OVERFLOW) (SEE EXTERIOR ELEVATIONS)

12 FACADE / ROOF ARTICULATING ELEMENTS (SEE EXTERIOR ELEVATIONS)

CONSTRUCTION MANAGEMENT

8425 Agate Road White City, OR 97503 ARCHITECT:

SAMUEL UCCELLO, AIA, NCARB S + B James Construction Management

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CCB #167945 (541) 826-5668

CONSULTANT:

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CYPRESS EQUITIES

8144 WALNUT HILL LANE, SUITE 1200 DALLAS, TX 75231 CONTACT: COLEMAN GLASS, VP PH: (214) 450-8508

PROJECT ADDRESS: SUPERMARKET 4501 BIDDLE ROAD CENTRAL POINT, OREGON 97502

REVISIONS ARKER DATE DESCRIPTION 05/03/2023 PRE-APP SUBMITTAL 06/09/2023 SPAR SUBMITTAL 00/00/00 00/00/00 00/00/00 00/00/00 00/00/00 00/00/00 00/00/00 00/00/00 00/00/00 00/00/00

SBJ PROJECT NO.: M23-5670 PROJECT DATE: 04/02/2023

00/00/00

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COMMERCIAL **DEVELOPMENT** CENTRAL POINT, OR (SPAR SUBMITTAL)

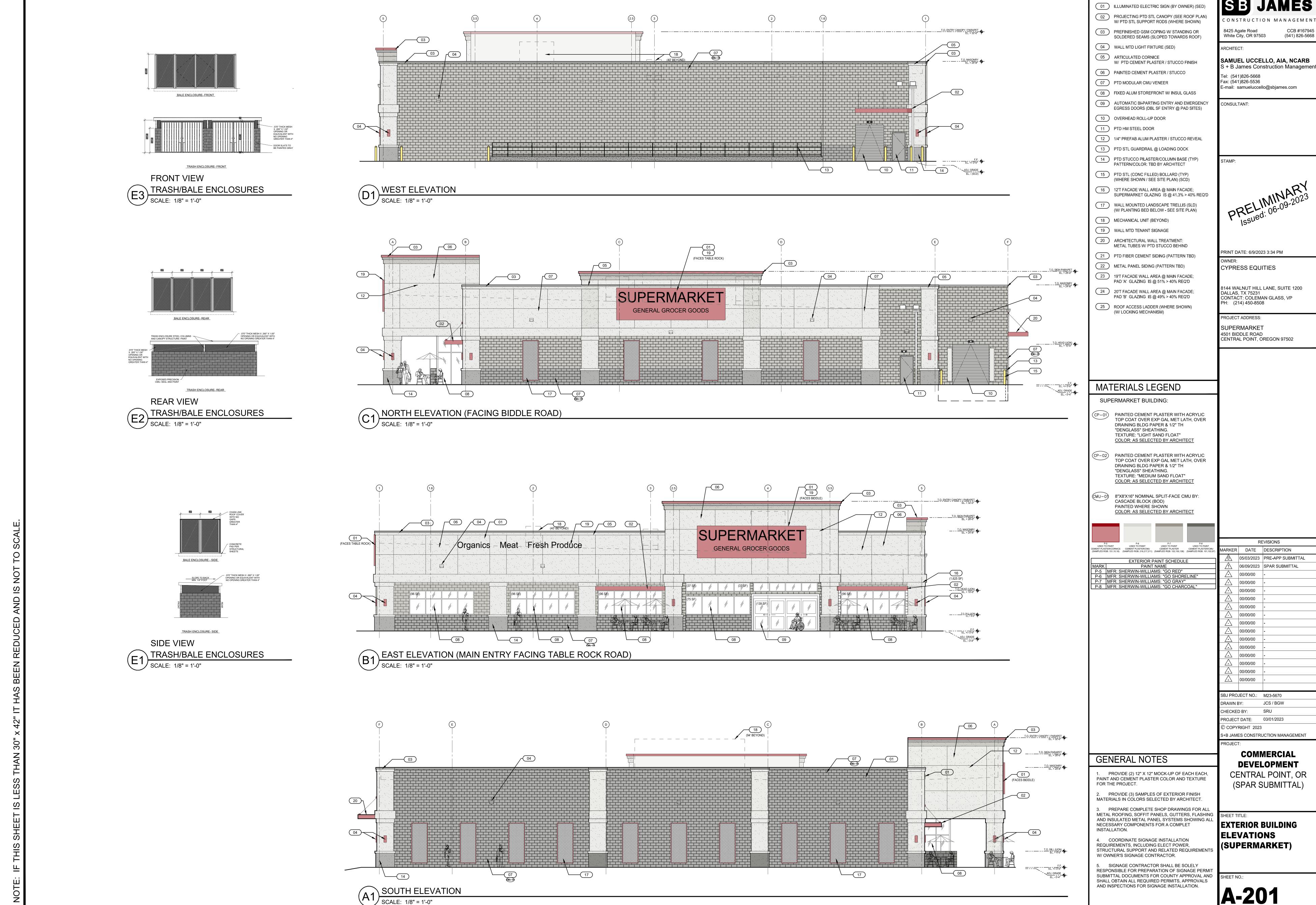
SHEET TITLE: **PRELIMINARY**

SHEET NOTES **ROOF PLAN** ROOF SHALL BE INSTALLED IN ACCORDANCE WITH ALL ROOF MFR'S RECOMMENDATIONS AND AS REQUIRED TO MAINTAIN THE ROOF WARRANTEE AND ALL APPLICABLE CODE REQUIREMENTS. (SUPERMARKET)

PROVIDE A 20-YEAR WARRANTEE ON THE COMPLETE ROOF INSTALLATION INCLUDING ALL LABOR AND

ROOFING CONTRACTOR SHALL SUBMIT FOR THE ARCHITECT'S REVIEW: ROOF SPECIFICATIONS, DETAILS AND WARRANTEE FOR THIS PROJECT INSTALLATION WITH INDICATIONS OF WHERE EACH DETAIL WILL BE USED.

ROOF MEMBRANE COLOR: TBD BY ARCHITECT

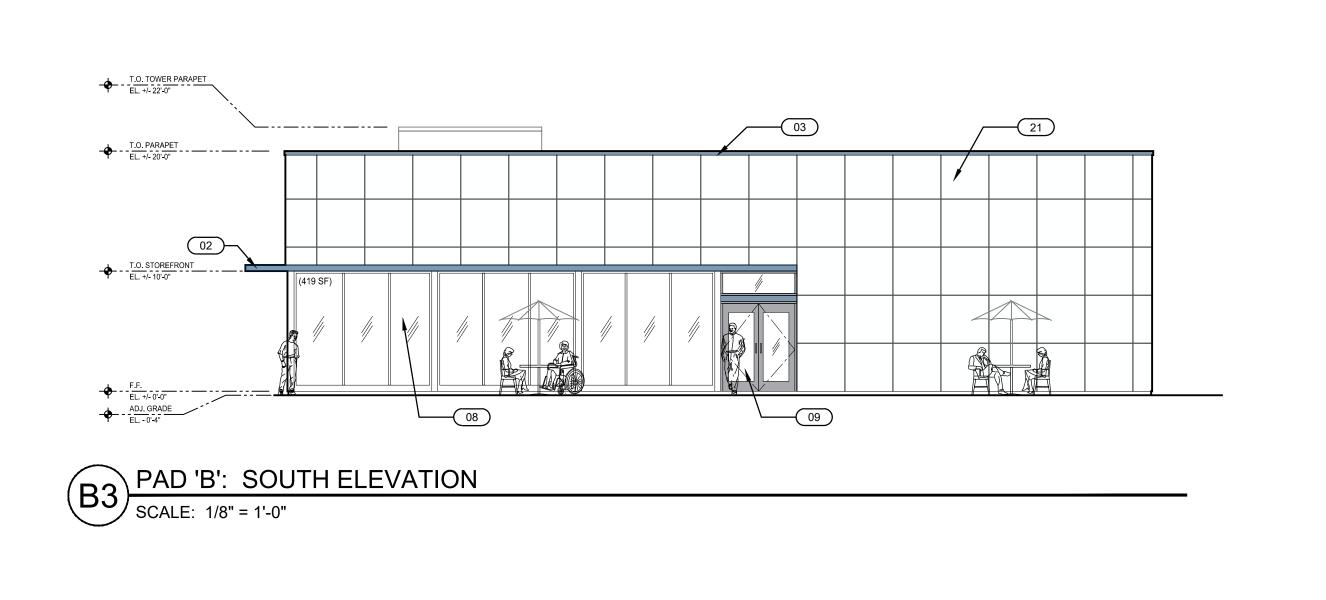


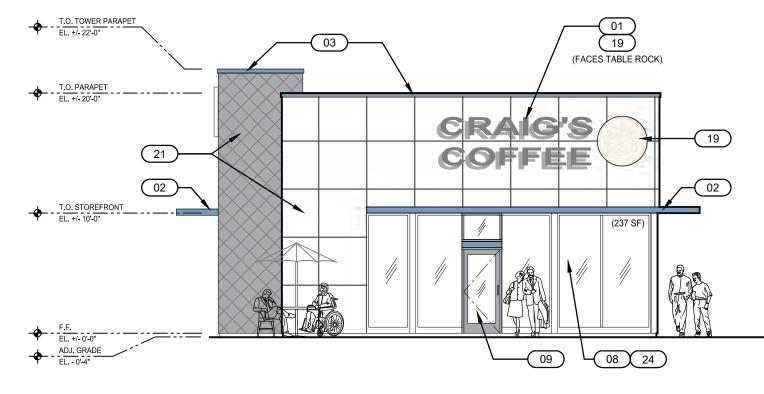
SHEET KEYNOTE LEGEND

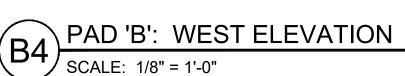
CCB #167945 (541) 826-5668

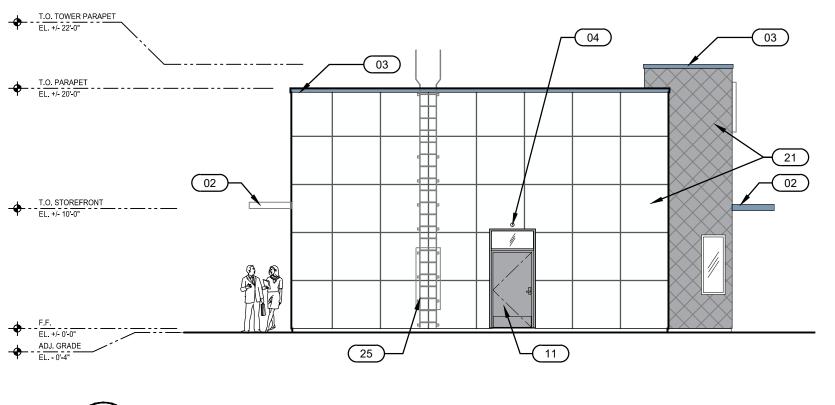
REVISIONS

JCS / BGW



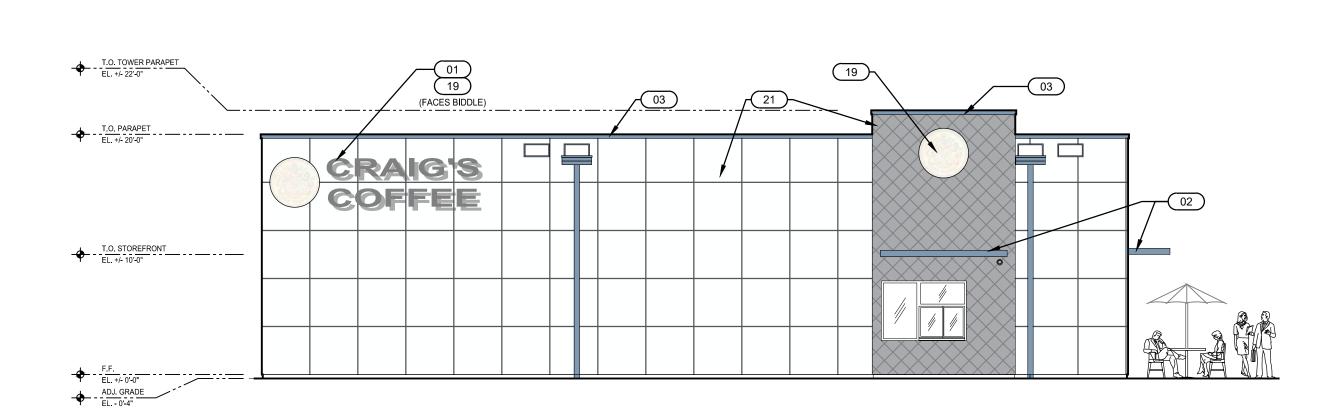






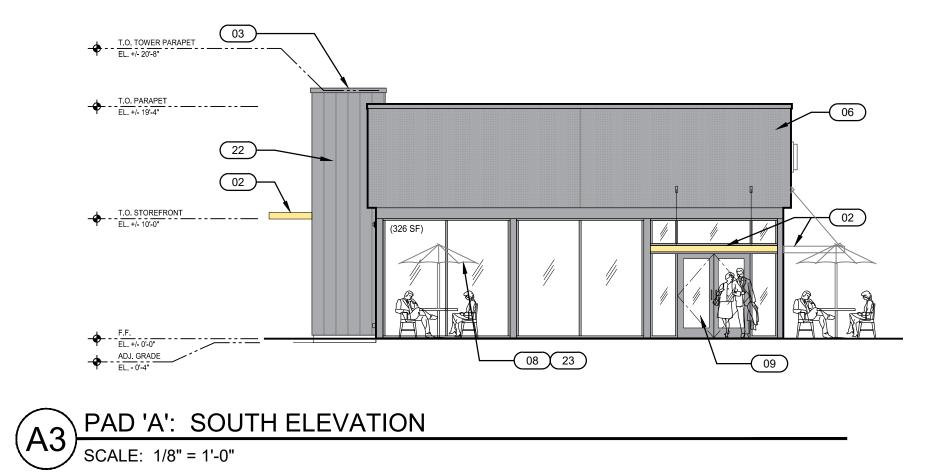
PAD 'B': EAST ELEVATION

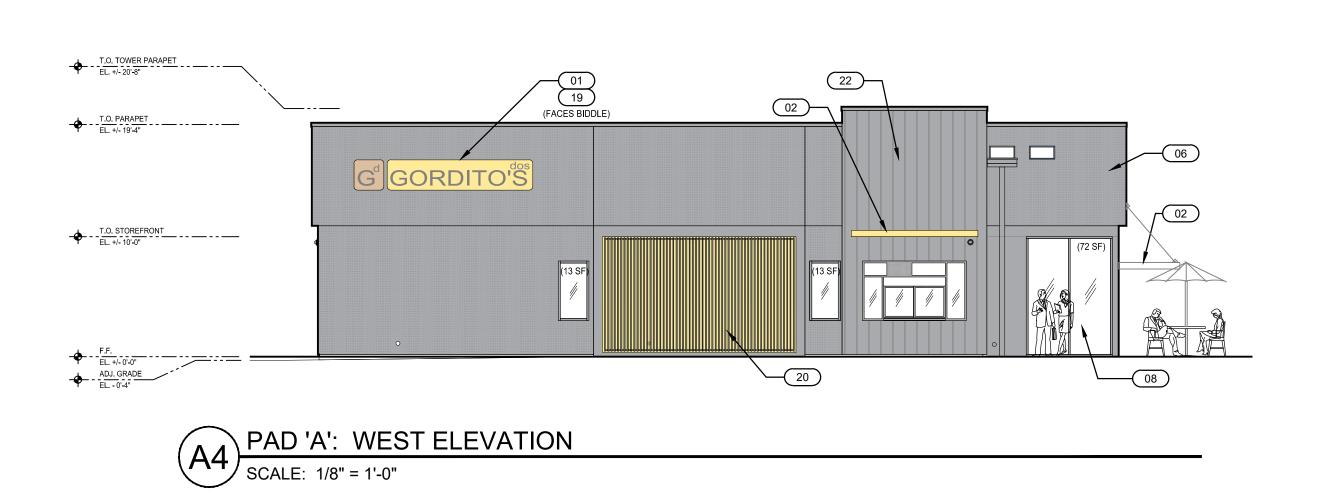
SCALE: 1/8" = 1'-0"

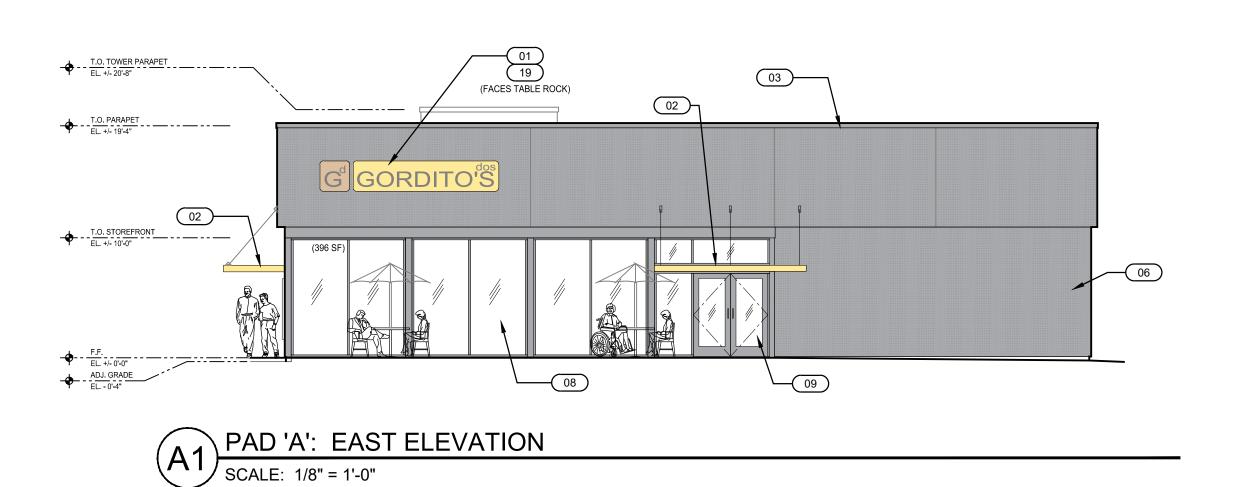


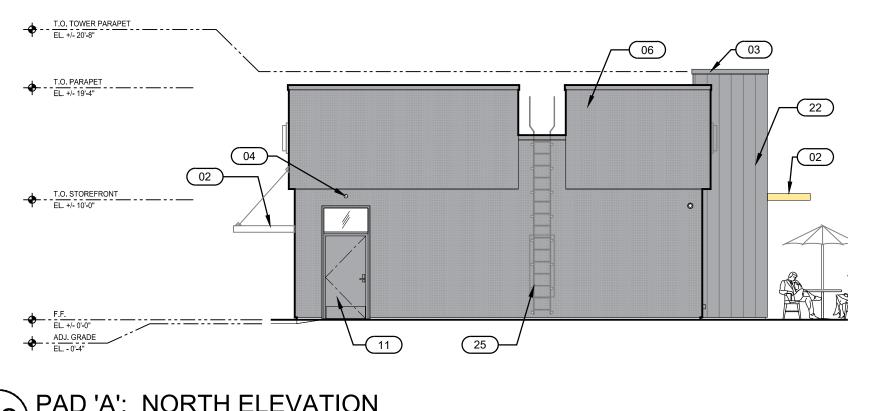
B2 PAD 'B': NORTH ELEVATION

SCALE: 1/8" = 1'-0"









PAD 'A': NORTH ELEVATION

SCALE: 1/8" = 1'-0"

SHEET KEYNOTE LEGEND

01 ILLUMINATED ELECTRIC SIGN (BY OWNER) (SED)

02 PROJECTING PTD STL CANOPY (SEE ROOF PLAN)
W/ PTD STL SUPPORT RODS (WHERE SHOWN)

03 PREFINISHED GSM COPING W/ STANDING OR SOLDERED SEAMS (SLOPED TOWARDS ROOF)

04 WALL MTD LIGHT FIXTURE (SED)

05 ARTICULATED CORNICE

W/ PTD CEMENT PLASTER / STUCCO FINISH 06 PAINTED CEMENT PLASTER / STUCCO

07 PTD MODULAR CMU VENEER

08 FIXED ALUM STOREFRONT W/ INSUL GLASS 09 AUTOMATIC BI-PARTING ENTRY AND EMERGENCY EGRESS DOORS (DBL SF ENTRY @ PAD SITES)

(10) OVERHEAD ROLL-UP DOOR

11 PTD HM STEEL DOOR

12 1/4" PREFAB ALUM PLASTER / STUCCO REVEAL

13 PTD STL GUARDRAIL @ LOADING DOCK 14 PTD STUCCO PILASTER/COLUMN BASE (TYP)

PATTERN/COLOR: TBD BY ARCHITECT 15 PTD STL (CONC FILLED) BOLLARD (TYP) (WHERE SHOWN / SEE SITE PLAN) (SCD)

16 12'T FACADE WALL AREA @ MAIN FACADE; SUPERMARKET GLAZING IS @ 41.3% > 40% REQ'D

17 WALL MOUNTED LANDSCAPE TRELLIS (SLD) (W/ PLANTING BED BELOW - SEE SITE PLAN)

18 MECHANICAL UNIT (BEYOND) (19) WALL MTD TENANT SIGNAGE

20 ARCHITECTURAL WALL TREATMENT: METAL TUBES W/ PTD STUCCO BEHIND

21 PTD FIBER CEMENT SIDING (PATTERN TBD)

22 METAL PANEL SIDING (PATTERN TBD) 23 19'T FACADE WALL AREA @ MAIN FACADE; PAD 'A' GLAZING IS @ 51% > 40% REQ'D

24 20'T FACADE WALL AREA @ MAIN FACADE; PAD 'B' GLAZING IS @ 49% > 40% REQ'D

25 ROOF ACCESS LADDER (WHERE SHOWN) (W/ LOCKING MECHANISM)

DESIGN-BUILDER:

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CONSULTANT:

ARCHITECT:

CONSTRUCTION MANAGEMENT

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8144 WALNUT HILL LANE, SUITE 1200 DALLAS, TX 75231 CONTACT: COLEMAN GLASS, VP PH: (214) 450-8508

CENTRAL POINT, OREGON 97502

CYPRESS EQUITIES

PROJECT ADDRESS:

SUPERMARKET

4501 BIDDLE ROAD

S + B James Construction Management

CCB #167945 (541) 826-5668

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REVISIONS

05/03/2023 PRE-APP SUBMITTAL

06/09/2023 SPAR SUBMITTAL

ARKER DATE DESCRIPTION

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PROJECT DATE: 03/01/2023

COMMERCIAL

DEVELOPMENT

CENTRAL POINT, OR

(SPAR SUBMITTAL)

CHECKED BY:

GENERAL NOTES

1. PROVIDE (2) 12" X 12" MOCK-UP OF EACH EACH, PAINT AND CEMENT PLASTER COLOR AND TEXTURE FOR THE PROJECT.

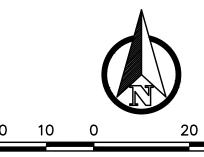
2. PROVIDE (3) SAMPLES OF EXTERIOR FINISH MATERIALS IN COLORS SELECTED BY ARCHITECT.

3. PREPARE COMPLETE SHOP DRAWINGS FOR ALL METAL ROOFING, SOFFIT PANELS, GUTTERS, FLASHING AND INSULATED METAL PANEL SYSTEMS SHOWING ALL NECESSARY COMPONENTS FOR A COMPLET INSTALLATION.

4. COORDINATE SIGNAGE INSTALLATION REQUIREMENTS, INCLUDING ELECT POWER, STRUCTURAL SUPPORT AND RELATED REQUIREMENTS W/ OWNER'S SIGNAGE CONTRACTOR.

5. SIGNAGE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PREPARATION OF SIGNAGE PERMIT SUBMITTAL DOCUMENTS FOR COUNTY APPROVAL AND SHEET NO.: SHALL OBTAIN ALL REQUIRED PERMITS, APPROVALS AND INSPECTIONS FOR SIGNAGE INSTALLATION.

EXTERIOR BUILDING ELEVATIONS (PAD 'A' & PAD 'B')



SCALE: 1" = 20'

DESIGN-BUILDER CONSTRUCTION MANAGEMENT 8425 Agate Road

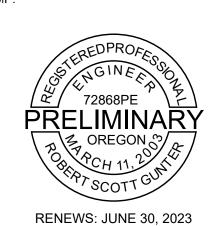
White City, OR 97503 ARCHITECT:

SAMUEL UCCELLO, AIA, NCARB S + B James Construction Management Tel: (541)826-5668 Fax: (541)826-5536

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CONSULTANT:





PRINT DATE: 6/7/2023 7:53 AM

CYPRESS EQUITIES

8144 WALNUT HILL LANE, SUITE 1200 DALLAS, TX 75231 CONTACT: COLEMAN GLASS, VP PH: (214) 450-8508

PROJECT ADDRESS: SUPERMARKET 4501 BIDDLE ROAD CENTRAL POINT, OREGON 97502

SBJ PROJECT NO.: M23-5670

CHECKED BY: COPYRIGHT 2023

S+B JAMES CONSTRUCTION MANAGEMENT

COMMERCIAL **DEVELOPMENT** CENTRAL POINT, OR

(SPAR SUBMITTAL)

SHEET TITLE:

LEGEND OF ABBREVIATIONS

(E) - EX EXISTING FEATURE

TW

FFE

PROPOSED FEATURE

TOP OF CURB

TOP OF WALL

CATCH BASIN

CURB INLET

MANHOLE

WATER

FLOW LINE

ASPHALT

BOTTOM OF WALL

FINISH SURFACE

SANITARY SEWER

STORM DRAIN

FINISH FLOOR ELEVATION

PRELIMINARY SITE **UTILITIES AND** DRAINAGE

STORMWATER NOTES:

1. STORM WATER QUALITY & DETENTION FOR THE NEW BUILDING WILL BE ROUTED TO ONSITE CHAMBER SYSTEMS AND THEN PIPED TO A NEW 18" STORM DRAIN LINE THEN INTO AN EXISTING 36" SD PIPE ON NORTH SIDE OF SITE.

2. ROOF DRAINS FROM NEW BUILDINGS WILL BE PIPED INTO THE PROPOSED ONSITE SYSTEMS.

CALL BEFORE YOU DIG 1-800-332-2344 48 hours before beginning excavation OREGON LAW REQUIRES YOU TO FOLLOW RULES
ADOPTED BY THE OREGON UTILITY NOTIFICATION
CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY AT 503-232-1987.

4. TELEPHONE AND CATV UTILITIES ARE LOCATED ON SOUTH WEST SIDE OF SITE. CONNECTIONS TO THESE UTILITIES WILL BE COORDINATED WITH THE INDIVIDUAL SERVICE PROVIDER DURING THE FINAL PROJECT DESIGN PHASE. 5. GAS SERVICE WILL BE CONNECTED TO EXISTING GAS MAIN ON SOUTH WEST SIDE OF SITE, AND SHALL BE COORDINATED WITH AVISTA. GAS LINES SHOWN ARE STRICTLY SCHEMATIC AND SHOULD BE COORDINATED WITH AVISTA AND SITE CONTRACTOR.

ELECTRIC LINES SHOWN ON SITE ARE STRICTLY SCHEMATIC AND SHOULD BE COORDINATED WITH A LICENSED MECHANICAL

1. INSTALL 2" DOMESTIC WATER SERVICE LINES AND METERS, BACK FLOWS WILL BE CONNECTED TO NEW 8" MAIN WHICH

INSTALLED TO ALLOW FOR A VARIETY OF DIFFERENT COMMERCIAL FACILITIES.

ENGINEER AND SERVICE PROVIDER FOR THE AREA.

CONNECTS TO EXISTING 8" MAIN IN PRIVATE DRIVE. ALL 3 SITES WILL HAVE A 4" FIRE LINE AND VAULTS ALONG WITH HYDRANTS

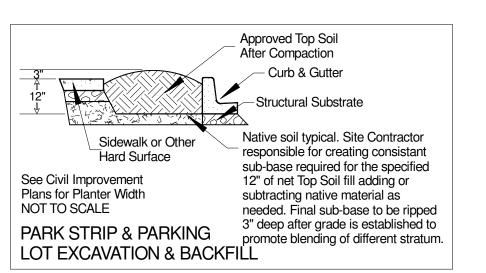
2. A NEW 6" SEWER LINE WILL BE CONSTRUCTED CONNECTING TO AN EXISTING SANITARY SEWER STUB OF OFF PRIVATE ROAD.

3. ELECTRIC SERVICE FOR BUILDING WILL COME FROM EXISTING ELECTRIC CONDUIT LOCATED ON SOUTH WEST SIDE OF SITE. THE

UTILITY NOTES:

OBTAIN COPIES OF THE RULES BY CALLING THE CENTER

BIDDLE ROAD



Planting for Pad A and Pad B

PLANTING

Botanical Name Common Name Hornbeam, Columnar, Frans Fontaine Carpinus betulus Frans Fontaine 1 1/2" Carpinus caroliniana 'Native Flame' 1 1/2" Hornbeam, Native Flame Acer rubrum 'Karpick' Maple, Karpick Quercus frainetto 'Schmidt' 1 1/2" Oak, Forest Green 1 1/2" Pyrus calleryana 'Capital' Pear, Callery, Capital 1 1/2" Redbud, Western Cercis occidentalis Zelkova serrata 'City Sprite' 1 1/2" Zelkova, City Sprite Dogwood, Kelseyi Cornus sericea 'Kelseyi' Holly, Dwarf Burford Ilex cornuta 'Burford Compacta' Prunus laurocerasus 'Otto Luyken' 2g Laurel, Otto Luyken Mexican Orange, Bluestone Choisya arizonica 'Bluestone' Ground Cover / Grasses Genista pilosa Grass, Hameln Dwarf Pennisetum alopecuroides 'Hameln' 10 Grass, Little Kitten Miscanthus sinensis 'Little Kitten' Arctostaphylos 'Emerald Carpet' Kinnikinnick, Emerald Carpet

GENERAL CONSTRUCTION NOTES

Clematis 'Evergreen Purple'

COORDINATION WITH THE EXCAVATING CONTRACTOR, GENERAL CONTRACTOR AND CIVIL PLANS IS IMPERATIVE.

1. SITE OBSERVATION VISITS

1. Pre-construction site meeting

Clematis, Evergreen Purple

A. The Landscape Architect shall be notified by the Landscape Contractor 48 hours in advance of all site observation visits required by this document or requested by the Landscape Contractor.

B. The Landscape Contractor shall be present at each site observation visit. C. All work that is to be viewed by the Landscape Architect shall be ready and in place. The Landscape Architect has the right to have changes made to any or all of the work. D. Site observation visits by the Landscape Architect are required for:

2. Sub grading 3. Preliminary irrigation layout, trench locations, P.O.C and vault sizes.

5. Finish grading and soil preparation 6. Placement of plant materials prior to planting 7. Final installation checklist

8. Periodic review of completed job during maintenance period.

Final checklist. E. Landscape Architect may comment and report on any other work being performed

as part of any visit. F. Additional site observation visits may be required by the Landscape Architect at any time. If more than one site observation visit is required for a particular portion of work because of excessive deficiencies (as determined by Landscape Architect), the

Landscape Contractor shall be charged for additional observations including during the maintenance period. 2. General preparAtion of site to include:

A. Eradication of weeds through the certified application of herbicides, allowing adequate time for kill.

 B. Removal, from site, of all existing surface rock in planting beds. 3. All shrub beds to be finish raked to a smooth condition prior to mulching. 4. Medium dark mulch to be placed in all shrub beds to a depth of 3" in all of the areas of the site both planted and unplanted that are North of the line defining the current area

of Landscape Development. 5. INCLUDE 365 DAYS OF MAINTENANCE from the day of acceptance. Including but

not limited to: A. Maintain planting areas in a healthy, weed free condition through a minimum

of bi-weekly visits. B. Replace any material showing signs of stress.

C. Monitor irrigation for correct timing.

D. Provide owner with complete list of instructions for continued care. E. Seasonally Mow grass weekly per manufactures recommendation.

6. Plan is diagrammatic and measurements should be confirmed on-site. Any changes are the responsibility of the contractor to co-ordinate with the owners representative.

Existing Redwood trees. Ultimate dispostion to be determined. Planting, if required, to follow similar layout as shown adjacent to these trees.

GRADING

COORDINATION WITH THE EXCAVATING AND SITE CONTRACTOR IS IMPERATIVE

1. All planting beds to be excavated to depth of 12" as determined by the surface of surrounding concrete and hardscapes. This may require adding or subtracting viable Native Soil to achieve consistant subgrade for the subsequent top soil fill as noted below. (See Detail). Vialble Native Soil does not include concrete, rock greater than 1 1/2" diameter, strictly clay soil, or non-native debris. Site Contractor responsible for creating consistant sub-base of Native soil required for the specified 12" of net Top Soil fill adding or subtracting native material as required. Final sub-base to be rippped 3" deep after grade is established to promote blending of different stratum.

2. Fill planters with locally sourced screened top soil that has been tested and shown to provide for superior plant growth with testing done at Umpqua Research Company of Myrtle Creek Or. Imported topsoil shall be 10%-70% Sand, 20%-80% silt, and 5%-25% clay; free of alkali, nematodes, harmful chemicals, debris, waste materials, rocks over I" in diameter, and noxious weeds. Fill with sufficient excess to allow for 25% compaction (IE 12" of net requires 16" of loose fill). Place soil in lifts of no more than 6" at a time and

compact entire surface with a water filled roller before placing subsequent lifts. 3. Placement of any soil to be done in coordination with suitable weather condition so as to prevent damage to soil structure from excesses of moisture. 4. Sub-grading and final grade to consist of to a smooth even grade, no undulation greater

than plus or minus 1" within any 10 lineal feet of distance. 5. All sub-grades to be adequately firm without being overly compacted. 6. Once top soil has been placed the Landscape Contractor is to add mature compost at a rate of 3 cu yds per 1,000 sq ft. and then rip to blend with top soil to a depth of 8". Pre-blended soil meeting these requirements is acceptable upon approval by the

Landscape Architect. 7. Finish grade in shrub areas to be a smooth even grade mounded 3" high in the middle of beds and ending 3" below surrounding areas. All finish grading to promote positive drainage away from structures and to be done in such a way as to eliminate puddling or

collection of water. 8. Landscape contractor responsible for addressing any drainage problems encountered during the course of construction, with Landscape Architect.

9. See Detail for profile

SEE CIVIL ENGINEERS DRAWINGS FOR GRADES THROUGHOUT SITE

PLANTING

- 1. Plant material to be provided in accordance with species, sizes and quantities indicated below. Substitutions to be made with the approval of landscape architect. 2. No planting to proceed until irrigation system is fully functioning in the area to be planted. 3. All plant holes to be dug 2 times the volume of their root ball size. Backfill shall consist of
- 1/3 organic mulch, 2/3 top soil, micorrhizae supplement and 16-16-16 fertilizer as follows. 1gal 1oz 3-5gal 2oz larger 4oz

DESIGN-BUILDER:

8425 Agate Road

ARCHITECT:

White City, OR 97503

josephsis@sbjames.com

C O N S T R U C T I O N M A N A G E M E N T

JOSEPH C. SIS, JR., AIA, NCARB

S + B James Construction Management

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Madara Design Inc

Landscape Architecture,

Design & Consultation

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2994 Wells Fargo Rd Central Point, Or 97502

PRINT DATE: ----

DALLAS, TX 75231

PH: (214) 450-8508

PROJECT ADDRESS:

4501 BIDDLE ROAK

CYPRESS EQUITIES

8144 WALNUT HILL LANE, SUITE 1200

CONTACT; COLEMAN GLASS, VP

CENTRAL POINT, OREGON J97502

REVISIONS

MARKER DATE DESCRIPTION

SBJ PROJECT NO.: M23-5670

TM

COMMERCIAL

DEVELOPMENT

CENTRAL POINT, OR

(SPAR SUBMITTAL)

PRELIMINARY

LANDSCAPE PLAN

S+B JAMES CONSTRUCTION MANAGEMENT

5/24/2023

CHECKED BY:

PROJECT:

SHEET TITLE:

PROJECT DATE:

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6/9/2023 SPAR SUBMITTAL

CCB #167945

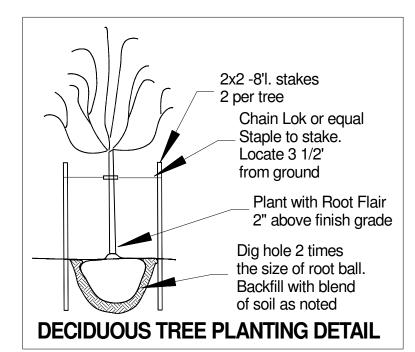
(541) 826-5668

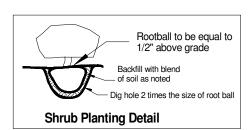
- 4. Plant upright and face to give best appearance or relationship to plants, structures and predominant viewing angle. Trees are to be planted so as to be straight up and down without the assistance of staking. Staking is solely for support against outside forces. 5. Loosen and remove twine binding and burlap from around top of each root ball. Scarify root balls of plants exhibiting a root bound condition, being careful not to damage
- 6. Place and compact backfill soil mixture carefully to avoid injury to roots, and fill all voids. 7. When hole is 2/3 filled with soil, completely soak and allow water to soak away at least two times or more, as necessary to completely water individual plants. 8. Guarantee plant materials and related workmanship of installation, beginning after written

the root balls integrity. Stake and guy trees immediately after this work.

- acceptance of work, for one year. A. Replace plant material not surviving or in poor condition during guarantee period. B. Perform all replacement work in accordance with original specifications at no
- additional cost to Owner. C. Damage or loss of plant materials due to vandalism, freezing or acts of neglect by
- others, is exempt from Contractor's replacement responsibility.

9. Confirm to Landscape Architect the availability of plant materials 30 Days prior to planting.





IRRIGATION DETAILS

- 1. An automatic irrigation system to be provided for all plant materials areas in accordance with industry standards. System is intended to perform at 15 gpm and 50 psi. Confirm on-site before proceeding depending on the
- available water source.. 2. All materials are to be new and in original condition.
- 3. No zone shall exceed 15gpm. Pipe sized to have less than 5ft / sec flows. 4. Place manual drain valves as needed at low points in mainline
- 5. Mainline should be located in area with least conflict with surrounding utilities. Mainline location on plan for ease of interpretation
- 6. All drip zones to use PVC laterals to locate a point of connection in each individual planting bed terminating in a Drip Riser. 7. Shrub areas to be irrigated by drip irrigation
- A. All surface drip tubing to be 1/2" poly tubing. Tubing ends to have removable caps. Tubing to buried a minimum of 3-5" and held down every 5' with J-stakes. B. Rain Bird XB-10 Emitters to be placed at the outside edge of root zones
- of plants at the following rate 1-2g plants 2-1GPH emitters placed on opposite sides of root ball 3-5g. plants 3- 1GPH emitters placed on opposite sides of root ball Larger material 5- 1GPH emitters spaced equally around perimeter of
- C. All Drip zones to include a 150 mesh filter and 30psi pressure regulator 8. All trenching to be a minimum of 15" deep. Backfill is to be clean and free of
- any material larger than 1 1/2" in diameter. Backfill shall be adequately compacted and guaranteed against further settling. 9. Control wires are to be a minimum of 14ga and spliced with water proof connections only. Place all wiring below piping in trenches.

10. Sleeving to be provided under all hardscapes by general contractor for

- irrigation purposes. 11. Irrigation system to be guaranteed against defective material or workmanship for one year from the date of final acceptance. Damage or loss due to vandalism, freezing or acts of neglect by others, is exempt from Contractor's
- replacement responsibility. 12. Provide owner with an accurate as-built locating all valves, wire splices, main
- line and any sleeving. 13. Provide owner with preliminary watering schedule for the established
- 14. Provide owner with complete set of written instructions for operation of sprinkler system including spring start up, clock operation, and winterization. 15. Walk owner through the entire system describing the operating instructions.
- Wilkins 3/4" Double Check Valve





Scale 1" = 20'

PRELIMINARY LANDSCAPE PLAN Scale 1" = 20' - 0"