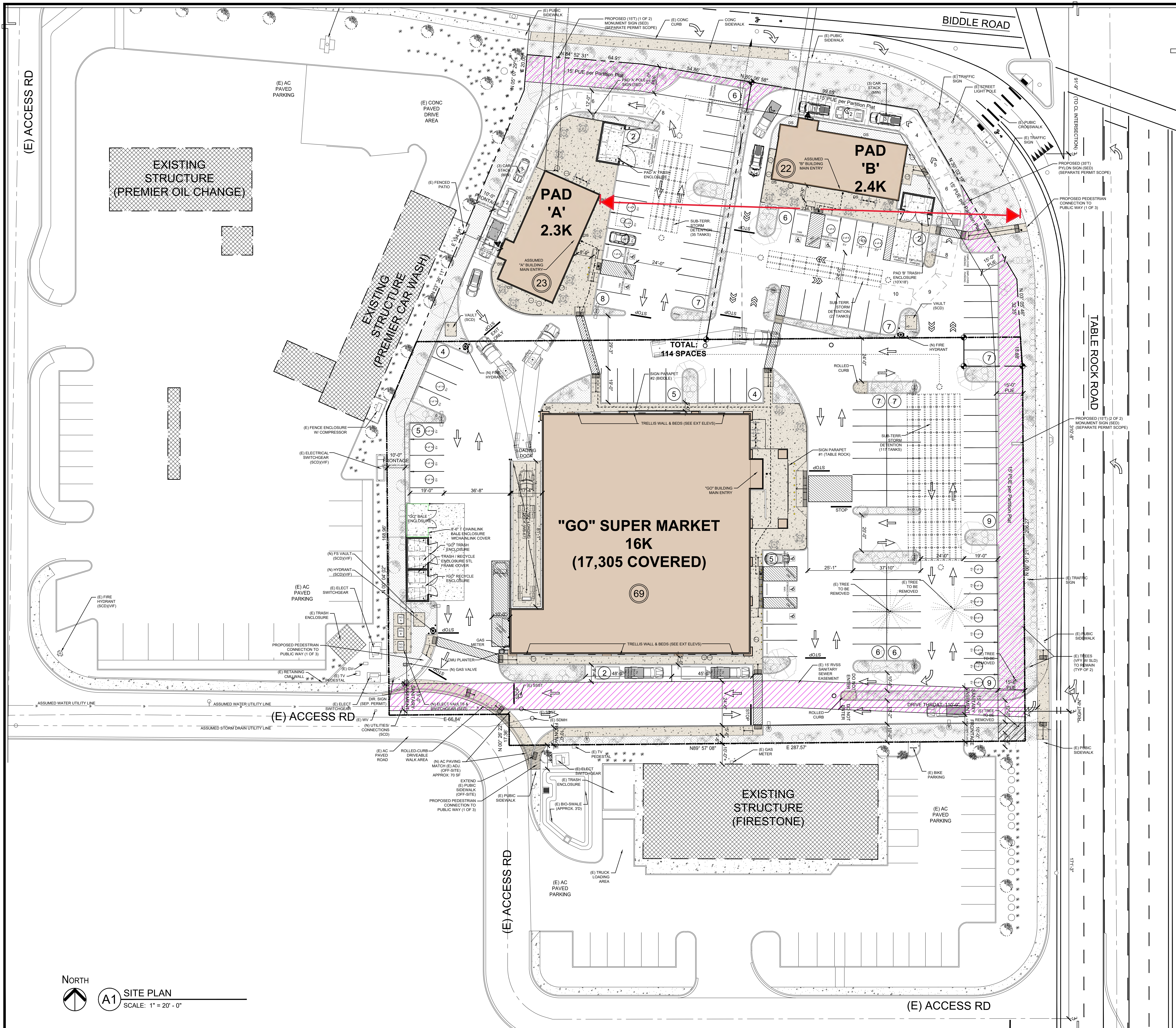




NOTE: IF THIS SHEET IS LESS THAN 30" x 42" IT HAS BEEN REDUCED AND IS NOT TO SCALE.



**SHEET KEYNOTE LEGEND**

KEYNOTES ON SITE PLAN

1	KEYNOTES ON SITE PLAN
---	-----------------------

**SB JAMES**  
CONSTRUCTION MANAGEMENT  
8425 Agate Road White City, OR 97503 CCB #167945 (541) 626-5668

ARCHITECT:  
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CONSULTANT:

STAMP:  
**PRELIMINARY**  
Issued: 06-09-2023

PRINT DATE: 6/9/2023 3:33 PM  
OWNER:  
CYPRESS EQUITIES  
8144 WALNUT HILL LANE, SUITE 1200  
DALLAS, TX 75231  
CONTACT: COLEMAN GLASS, VP  
PH: (214) 450-8508

PROJECT ADDRESS:  
SUPERMARKET  
4501 BIDDLE ROAD  
CENTRAL POINT, OREGON 97502

REVISIONS

MARKER	DATE	DESCRIPTION
△	05/03/2023	PRE-APP SUBMITTAL
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**SHEET NOTES**

- FOR TYPICAL AND ACCESSIBLE PARKING STALL STRIPING REQUIREMENTS, REFER TO CIVIL DRAWINGS.
- FOR SITE FENCING, PLANTERS, AND GATES, REFER TO LANDSCAPE DRAWINGS.
- SEE CIVIL LANDSCAPE & ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING MATERIALS, FINISHES, STRUCTURES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED. MATERIALS AND FINISHES SHALL MATCH EXISTING ADJACENT MATERIALS AND FINISHES TO EXTENT POSSIBLE AND REASONABLE.
- FOR ADDITIONAL INFORMATION ON TERRACES, PATIOS, AND WALKWAYS, REFER TO THE INDIVIDUAL BUILDING DRAWINGS.

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DRAWN BY: JCS  
CHECKED BY: SRU  
PROJECT DATE: 03/01/2023  
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**COMMERCIAL DEVELOPMENT**  
CENTRAL POINT, OR  
(SPAR SUBMITTAL)

**SYMBOL LEGEND**

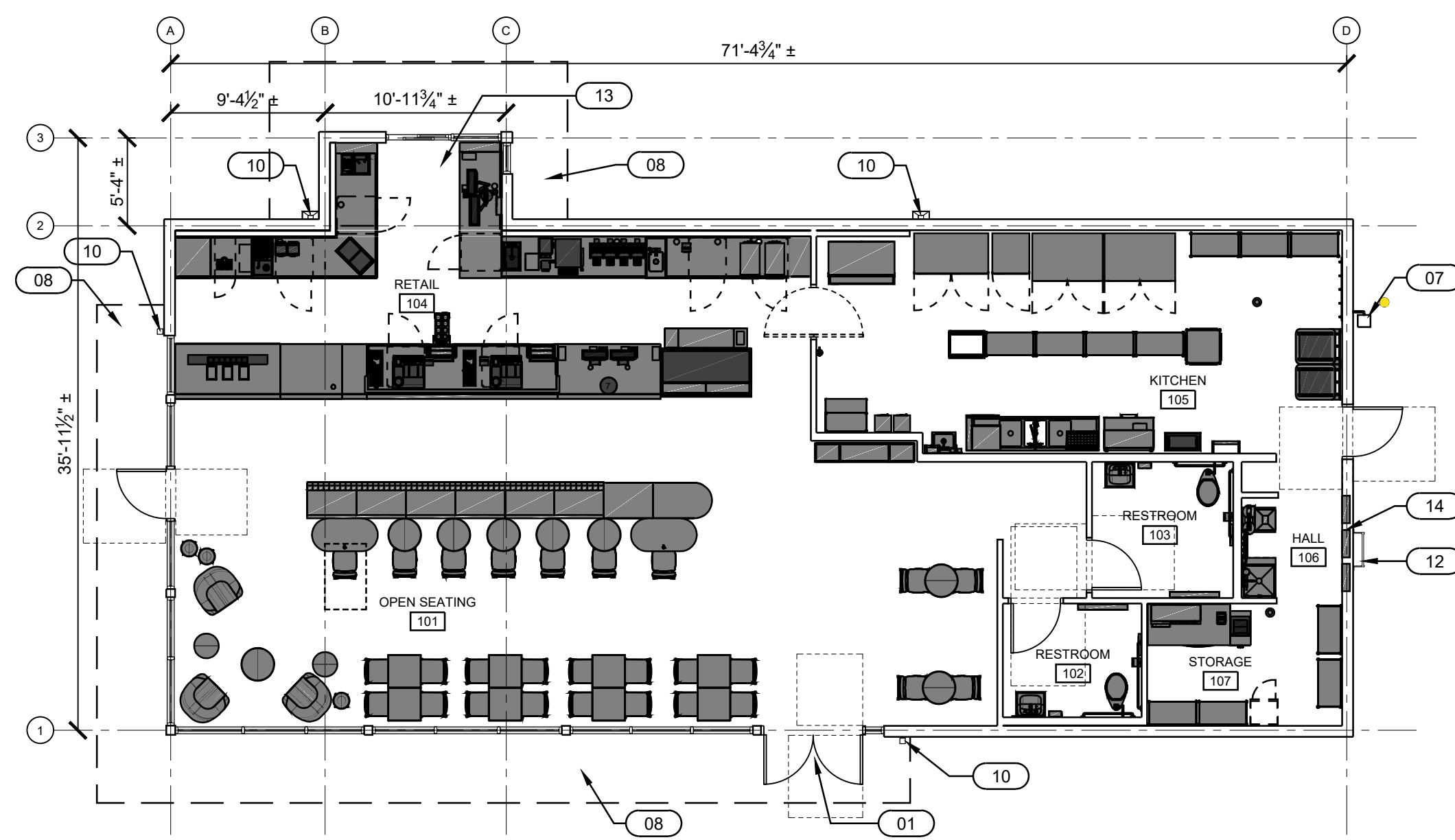
	LANDSCAPE AREA (SLD)
	ACCESSIBLE PATH OF TRAVEL - BARRIER FREE ACCESS WITH MAXIMUM CROSS SLOPE OF 2% AND MAXIMUM 5% SLOPE IN THE DIRECTION OF TRAVEL (SCD)
	(E) PROPERTY LINE

NORTH

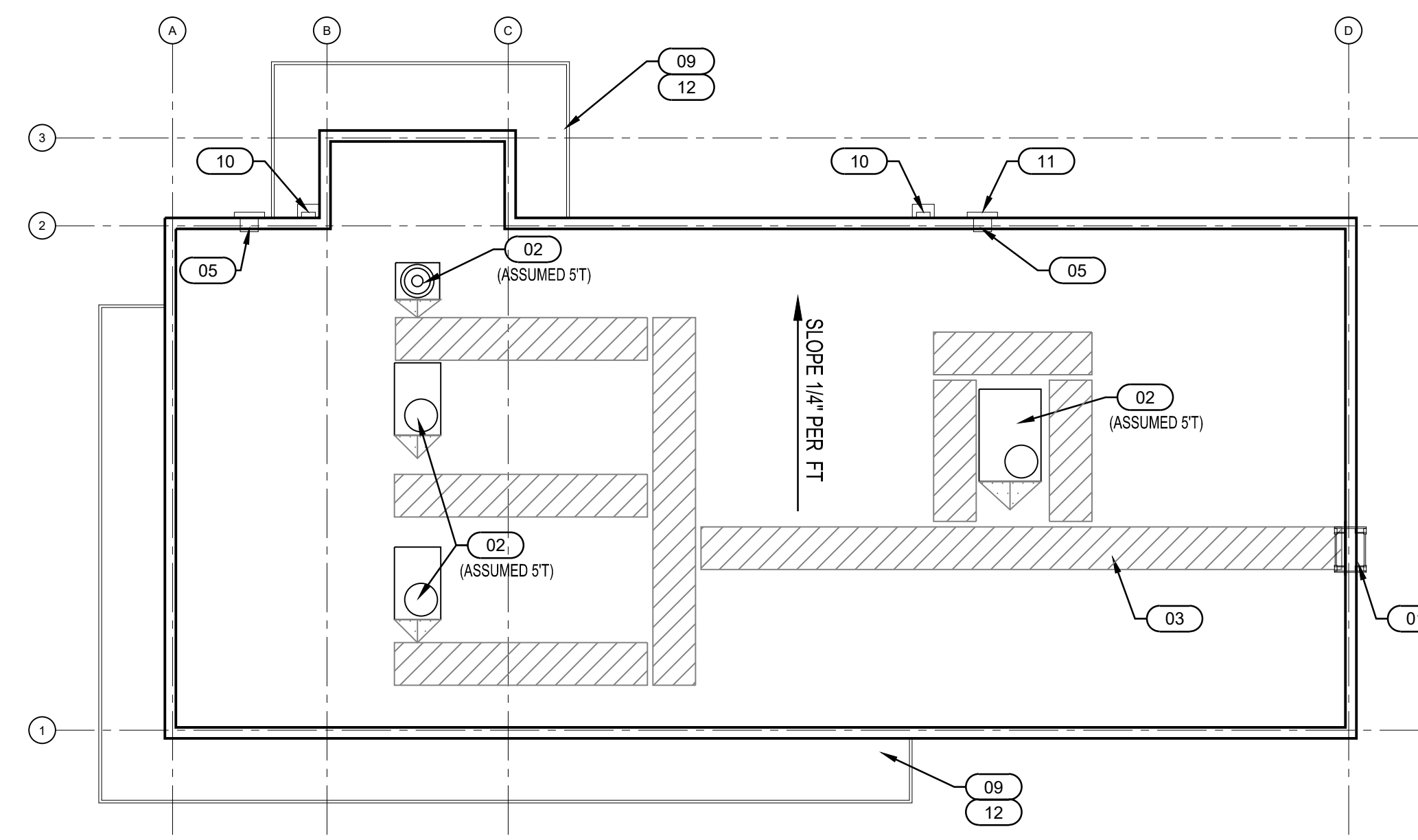
**A1** SITE PLAN  
SCALE: 1" = 20' - 0"



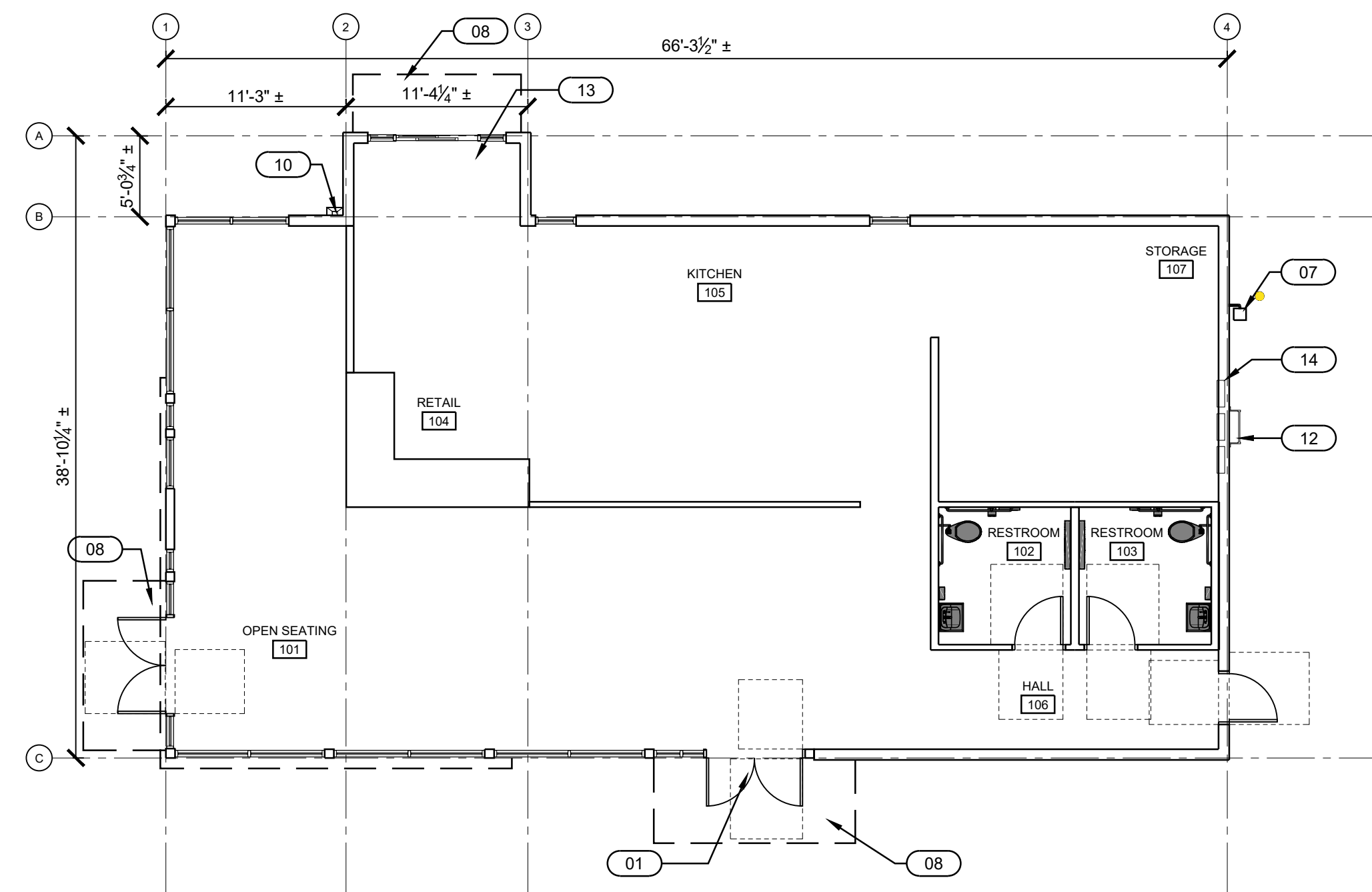
NOTE: IF THIS SHEET IS LESS THAN 30" x 42" IT HAS BEEN REDUCED AND IS NOT TO SCALE.



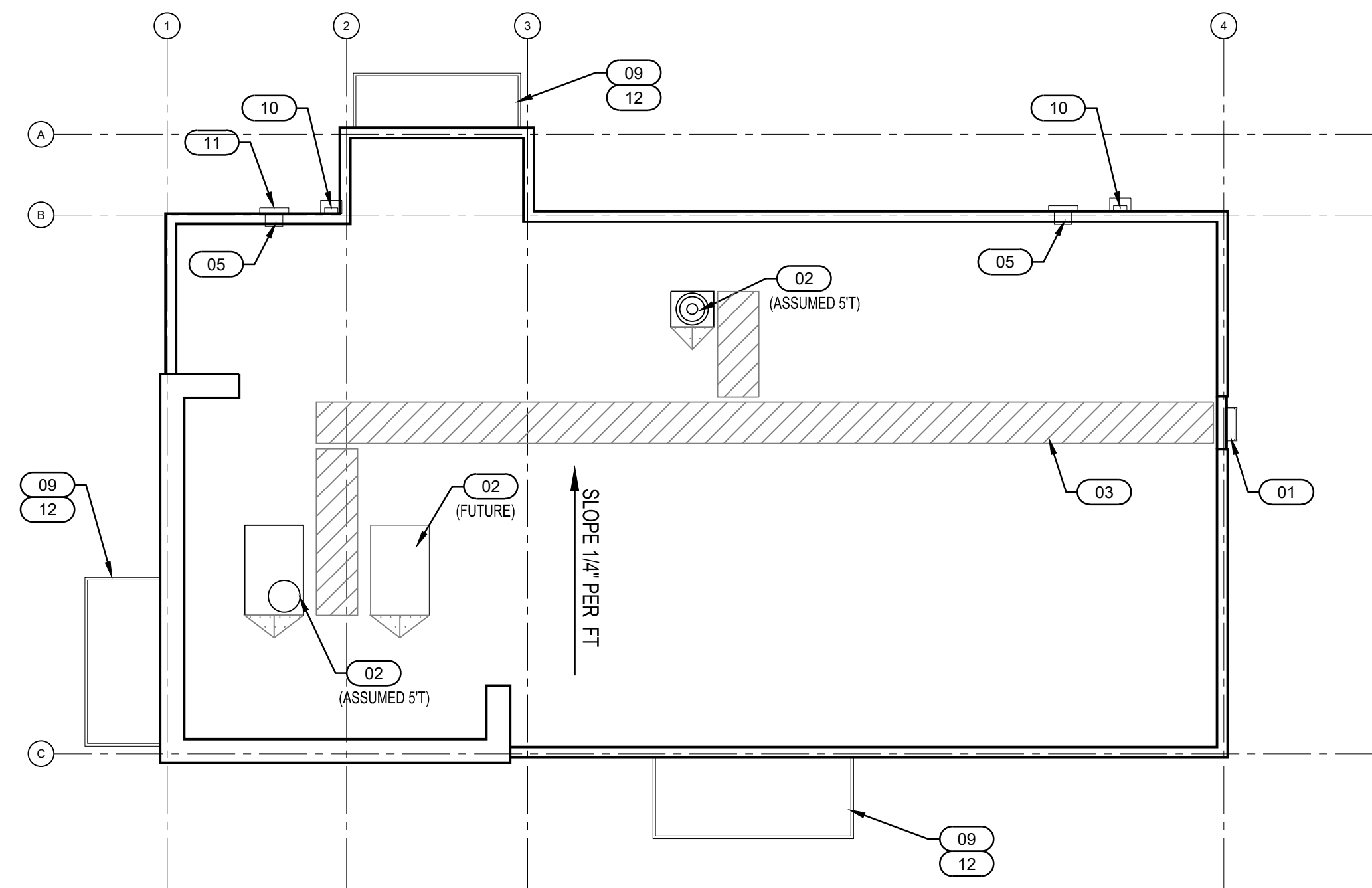
**B1** FLOOR PLAN - PAD 'B' BUILDING  
SCALE: 1/8" = 1'-0"



**B2** ROOF PLAN - PAD 'B' BUILDING  
SCALE: 1/8" = 1'-0"



**A1** FLOOR PLAN - PAD 'A' BUILDING  
SCALE: 1/8" = 1'-0"



**A2** ROOF PLAN - PAD 'A' BUILDING  
SCALE: 1/8" = 1'-0"

**SHEET KEYNOTE LEGEND**

- 01 MAIN ENTRY: VARIES BY BUILDING  
SM: SLIDING STOREFRONT ASSEMBLY  
W/ EGRESS BREAK-AWAY  
PADS: SWINGING STOREFRONT
- 02 PILASTERS (SEE EXTERIOR ELEVATIONS)
- 03 LOADING DOCK W/ PROTECTIVE GUARDRAIL
- 04 6" PTD CMU TRASH ENCLOSURE (TYP)  
(W/ PTD STEEL GATES)
- 05 6" CHAIN LINK BALE STORAGE  
(W/ CHAINLINK "ROOF")
- 06 PTD STL CONC FILLED BOLLARD (SCD)
- 07 GAS METER (SCD)  
(W/ PTD STEEL BOLLARD / SEE SITE PLAN)
- 08 EDGE OF ROOF ABOVE (SEE ROOF PLAN)
- 09 MECH. PLATFORM ACCESS LADDER  
WALL: MTD PTD STL (SEE DETAIL)  
(NOTE: ROOF ACCESS ABOVE)
- 10 DOWNSPOUT (SEE EXT. ELEVATIONS)
- 11 1'-0" DEEP x 6" H PROTECTION CURB @  
PERIMETER OF LOADING DOCK AREA
- 12 ROOF ACCESS LADDER (SEE EXT. ELEVATIONS)
- 13 DRIVE-THRU DELIVERY WINDOW  
(SEE EXT. ELEVATIONS & SITE PLAN)
- 14 INTERIOR BLDG POWER PANELS (SCD)
- 15 WALL-MTD LANDSCAPE TRELIS (SLD)  
(SEE EXTERIOR ELEVATIONS)

**ROOF KEYNOTE LEGEND**

- 01 ROOF ACCESS  
(LOCKING HATCH WHERE SHOWN)
- 02 MECH UNIT (FINAL SPECS TBD) (SMD)
- 03 ROOF ACCESS WALKING PADS (BY ROOFING MFR)
- 04 SINGLE-MEMBRANE ROOF
- 05 OVERFLOW 4" ABOVE ROOF (TYP)
- 06 ROOF CRICKET (SLOPE TO DRAIN VARIES)
- 07 ROOF PARAPET (W/ PRE-FIN GSM COPING) (TYP)
- 08 ELEVATED ARCHITECTURAL DETAIL PARAPETS  
(SEE EXTERIOR ELEVATIONS)
- 09 PROJECTING CANOPY ROOF (BELOW)  
(WHERE OCCURS / SEE EXTERIOR ELEVATIONS)
- 10 PRE-FIN GSM SCUPPER COLLECTOR BOX & DS  
(SEE EXTERIOR ELEVATIONS)
- 11 PRE-FIN GSM SCUPPER (OVERFLOW)  
(SEE EXTERIOR ELEVATIONS)
- 12 FACADE / ROOF ARTICULATING ELEMENTS  
(SEE EXTERIOR ELEVATIONS)

**SHEET NOTES**

1. CONTRACTOR SHALL DISCONNECT & SAFE-OFF ALL UTILITIES 48 HOURS PRIOR TO START OF DEMOLITION ACTIVITIES.
2. CONTRACTOR SHALL CAP EXISTING ELECTRICAL & PLUMBING LINES TO BE ABANDONED A MINIMUM OF TWO INCHES BELOW THE FINISH FLOOR SLAB ELEVATION.
3. CONTRACTOR SHALL REVIEW ALL STRUCTURAL, MECHANICAL, PLUMBING, & ELECTRICAL DRAWINGS FOR RELATED INFORMATION.
4. CONTRACTOR SHALL DISPOSE OF ALL DEBRIS IN ACCORDANCE WITH FEDERAL, STATE, & LOCAL LAWS & REGULATIONS.
5. ALL DIMENSIONS SHOWN ARE TO FACE OF STUD. UNLESS NOTED OTHERWISE. COORDINATE ANY DISCREPANCIES WITH ARCHITECT PRIOR TO CONSTRUCTION.
6. REFER TO FLOOR PLAN, INTERIOR, AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
7. REFER TO ENLARGED PLANS FOR ADDITIONAL INFORMATION.
8. INTERIOR PARTITIONS ARE TYPE 1 UNLESS NOTED OTHERWISE.
9. SEE INTERIOR DESIGN DRAWINGS FOR INTERIOR FINISHES.

**SYMBOL LEGEND**

- 2-HR FIRE RATED SEPARATION WALL, FIRE BARRIER, THIS WALL, SEE DETS & WALL PARTITION TYPE [7]
- - - - - LIMIT OF SCOPE OF WORK
- (D) (E) DOOR & WALL
- (D) (N) DOOR & WALL

DESIGN-BUILDER:

**SB JAMES**  
CONSTRUCTION MANAGEMENT  
8425 Agate Road White City, OR 97503 CCB #167945 (541) 626-5668

ARCHITECT:  
**SAMUEL UCCELLO, AIA, NCARB**  
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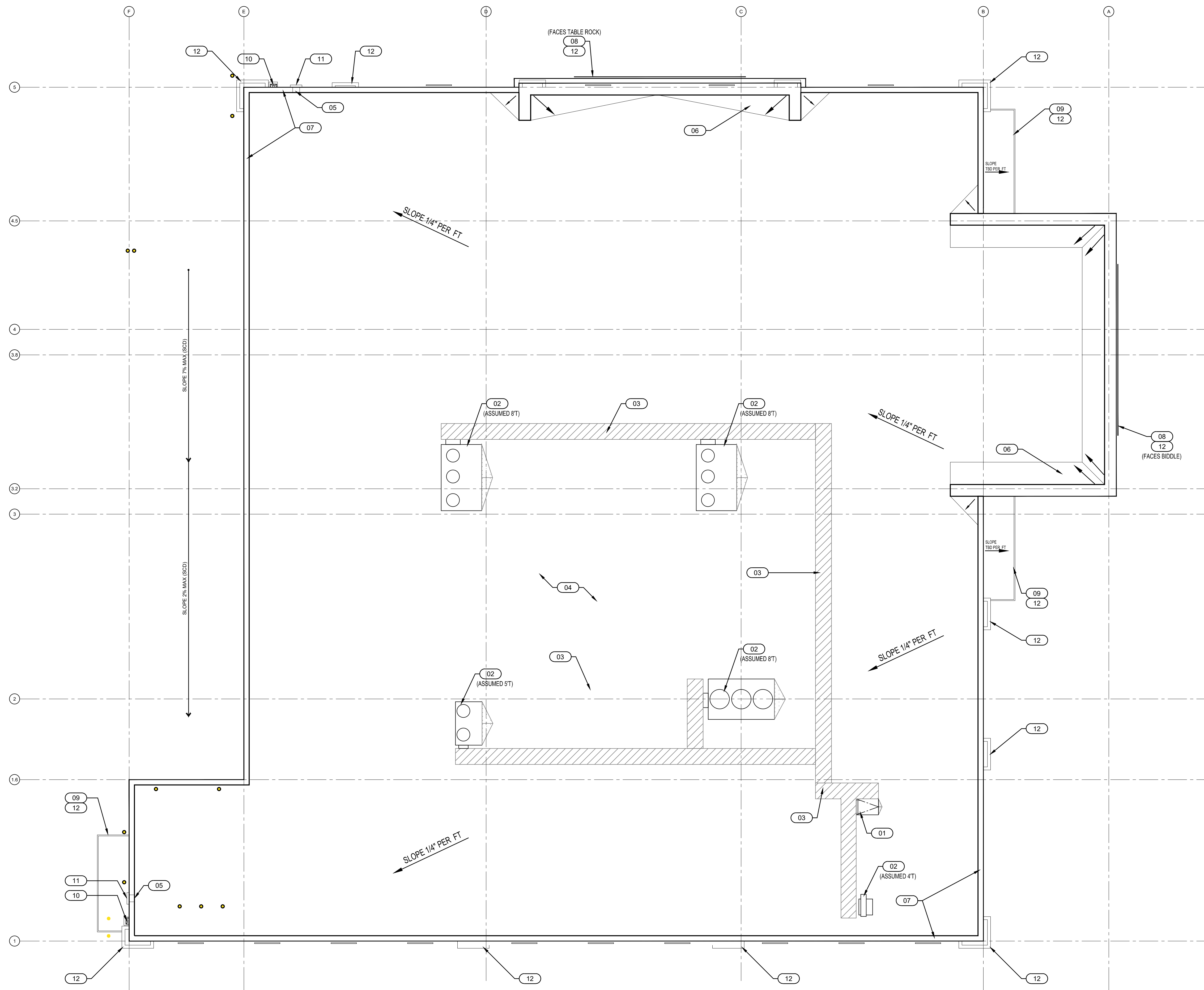
SBJ PROJECT NO.: M23-5670  
DRAWN BY: JCS  
CHECKED BY: SRU  
PROJECT DATE: 00/00/2021  
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PROJECT:  
**COMMERCIAL DEVELOPMENT**  
CENTRAL POINT, OR  
(SPAR SUBMITTAL)

SHEET TITLE:  
**PRELIMINARY FLOOR & ROOF PLANS (PAD BUILDINGS)**

SHEET NO.:  
**A-103**

NOTE: IF THIS SHEET IS LESS THAN 30" x 42" IT HAS BEEN REDUCED AND IS NOT TO SCALE.



**ROOF KEYNOTE LEGEND**

- (01) ROOF ACCESS (LOCKING HATCH WHERE SHOWN)
- (02) MECH UNIT (FINAL SPECS TBD) (SMD)
- (03) ROOF ACCESS WALKING PADS (BY ROOFING MFR)
- (04) SINGLE-MEMBRANE ROOF
- (05) OVERFLOW 4" ABOVE ROOF (TYP)
- (06) ROOF CRICKET (SLOPE TO DRAIN VARIES)
- (07) ROOF PARAPET (W/ PRE-FIN GSM COPING) (TYP)
- (08) ELEVATED ARCHITECTURAL DETAIL PARAPETS (SEE EXTERIOR ELEVATIONS)
- (09) PROJECTING CANOPY ROOF (BELOW) (WHERE OCCURS / SEE EXTERIOR ELEVATIONS)
- (10) PRE-FIN GSM SCUPPER COLLECTOR BOX & DS (SEE EXTERIOR ELEVATIONS)
- (11) PRE-FIN GSM SCUPPER (OVERFLOW) (SEE EXTERIOR ELEVATIONS)
- (12) FACADE / ROOF ARTICULATING ELEMENTS (SEE EXTERIOR ELEVATIONS)

DESIGN-BUILDER:



**CONSTRUCTION MANAGEMENT**  
 8425 Agate Road White City, OR 97503 CCB #167945 (541) 626-5668

ARCHITECT:  
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CONSULTANT:

STAMP:

PRELIMINARY

Issued: 06-09-2023

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OWNER:  
**CYPRESS EQUITIES**  
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 CONTACT: COLEMAN GLASS, VP  
 PH: (214) 450-8508

PROJECT ADDRESS:  
**SUPERMARKET**  
 4501 BIDDLE ROAD  
 CENTRAL POINT, OREGON 97502

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 CHECKED BY: SRU  
 PROJECT DATE: 04/02/2023  
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**COMMERCIAL DEVELOPMENT**  
 CENTRAL POINT, OR  
 (SPAR SUBMITTAL)

SHEET TITLE:  
**PRELIMINARY ROOF PLAN (SUPERMARKET)**

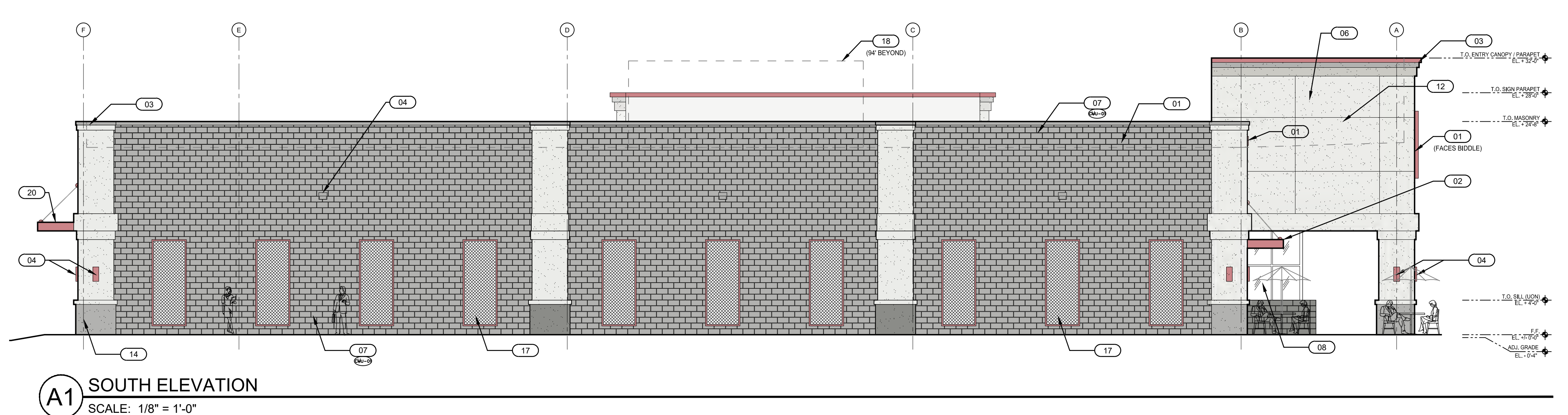
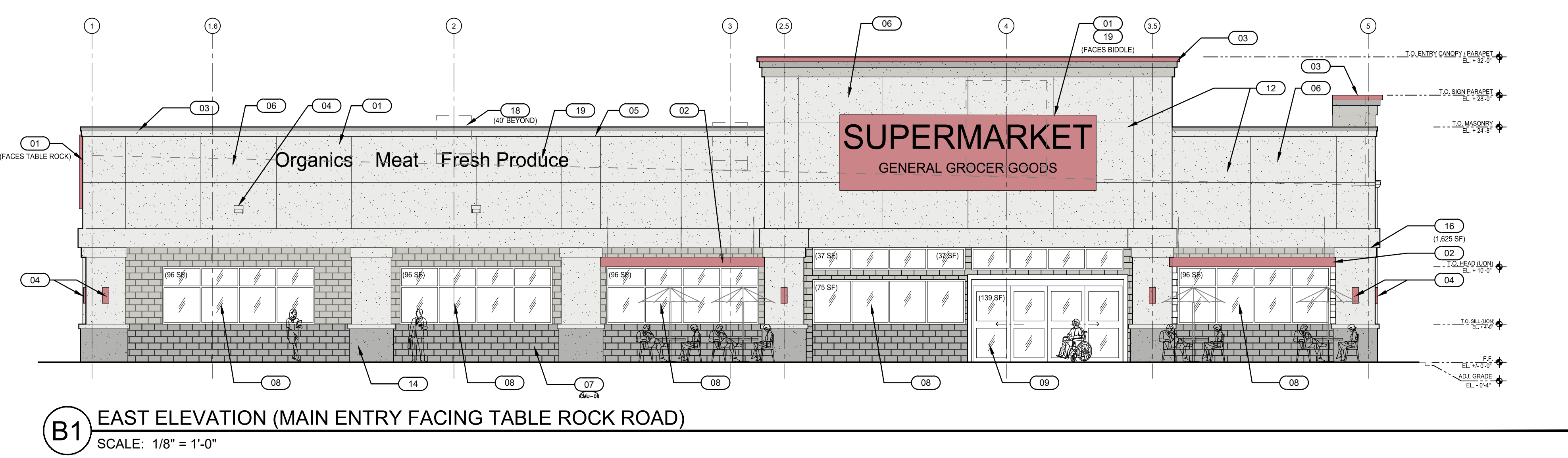
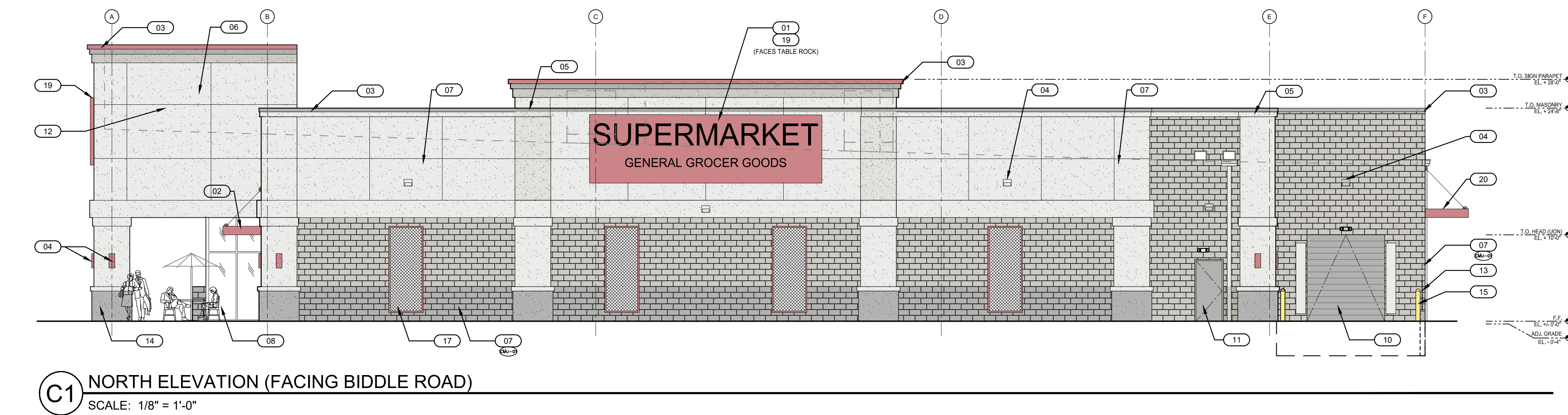
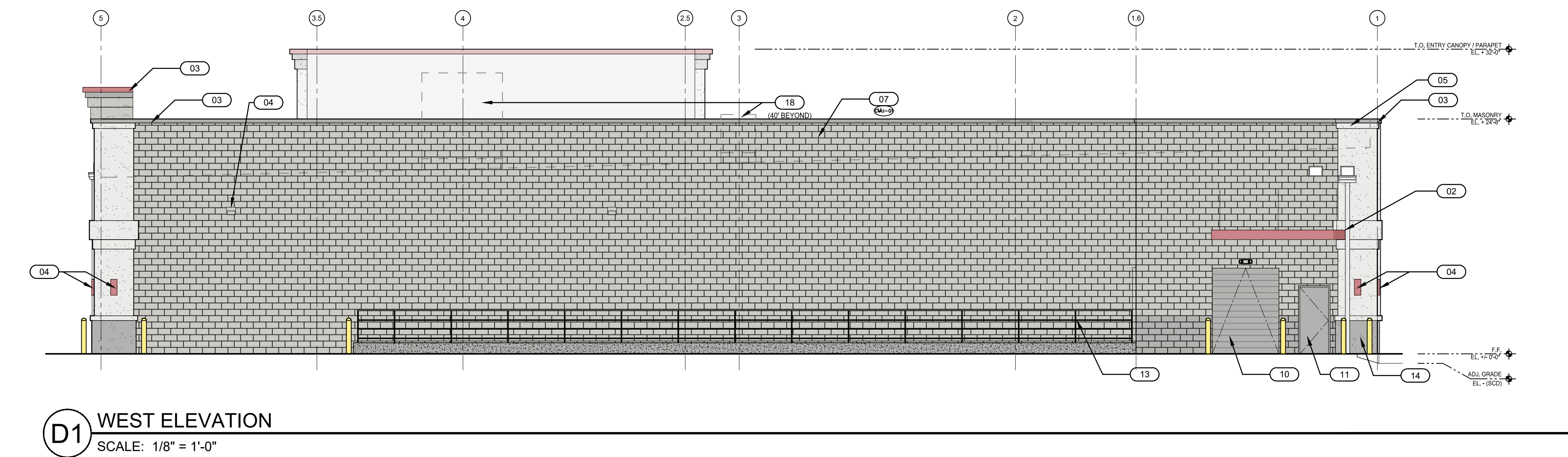
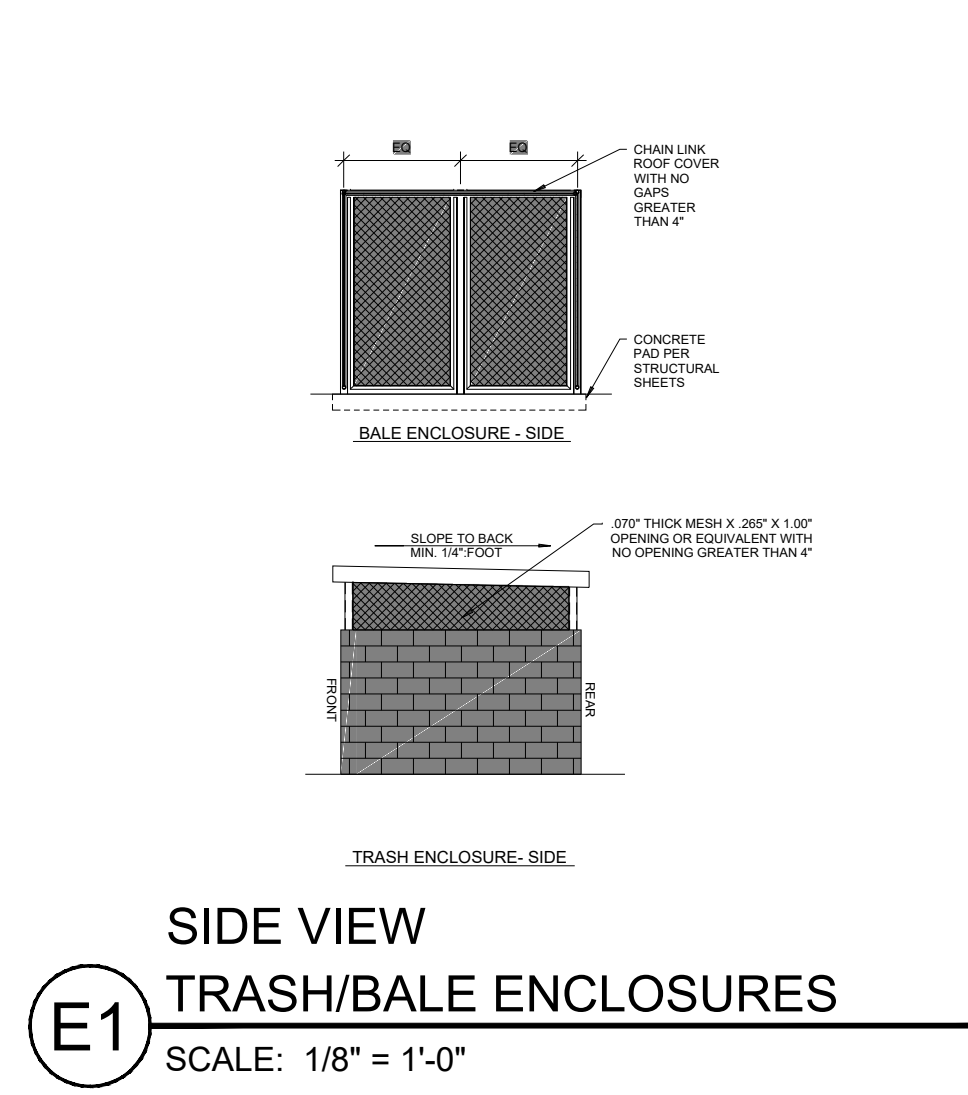
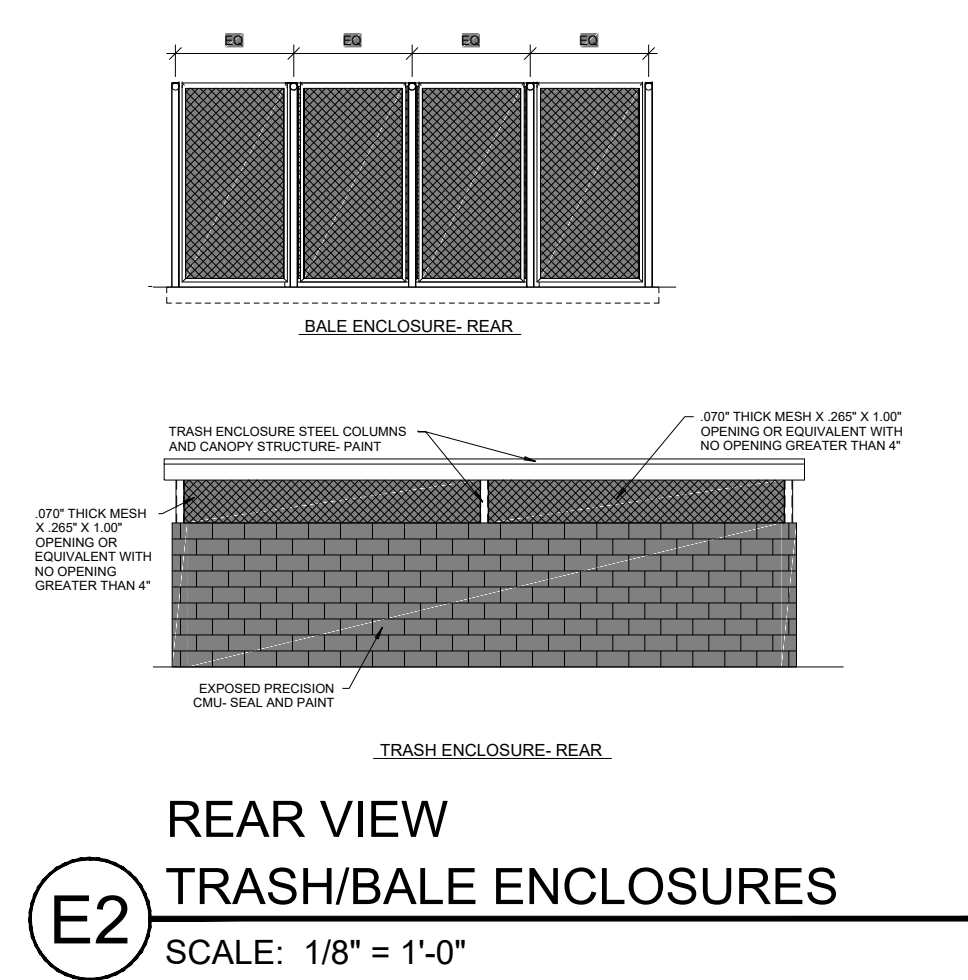
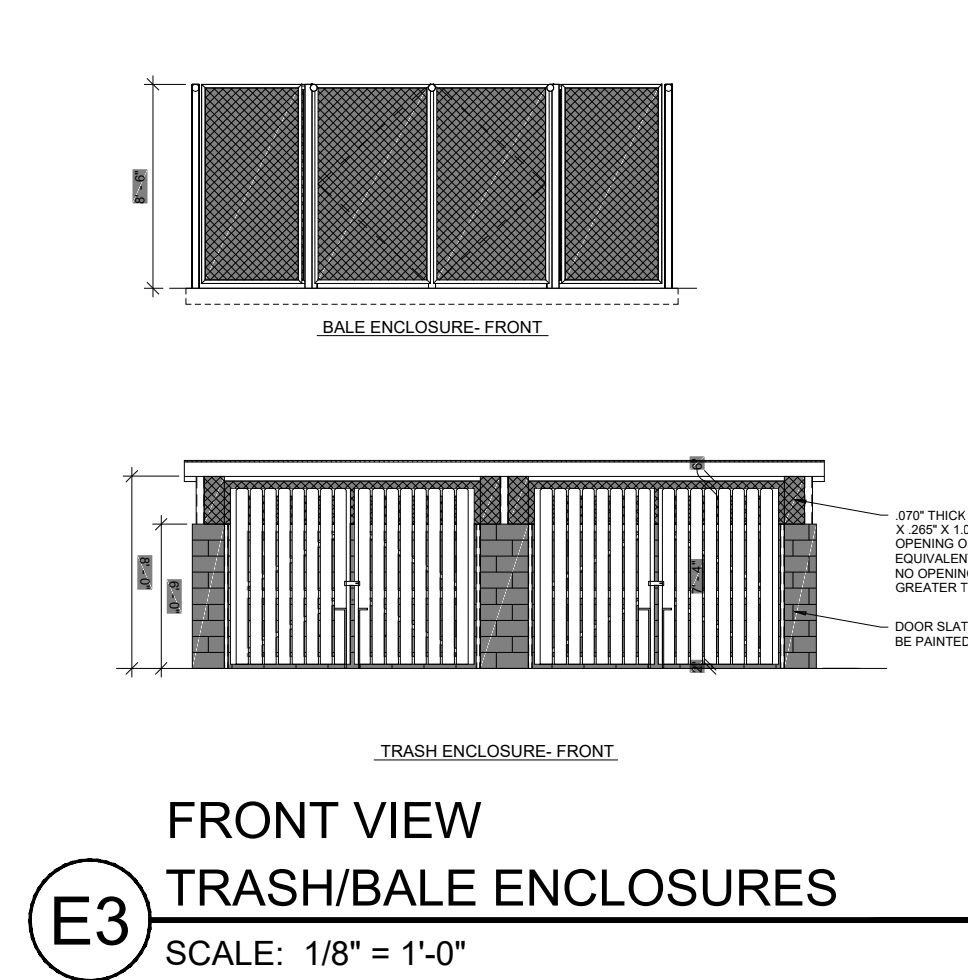
SHEET NO.:  
**A-104**

**SHEET NOTES**

1. ROOF SHALL BE INSTALLED IN ACCORDANCE WITH ALL ROOF MFR'S RECOMMENDATIONS AND AS REQUIRED TO MAINTAIN THE ROOF WARRANTY AND ALL APPLICABLE CODE REQUIREMENTS.
2. PROVIDE A 25-YEAR WARRANTY ON THE COMPLETE ROOF INSTALLATION INCLUDING ALL LABOR AND MATERIALS.
3. ROOFING CONTRACTOR SHALL SUBMIT FOR THE ARCHITECT'S REVIEW: ROOF SPECIFICATIONS, DETAILS AND WARRANTY FOR THIS PROJECT INSTALLATION WITH INDICATIONS OF WHERE EACH DETAIL WILL BE USED.
4. ROOF MEMBRANE COLOR: TBD BY ARCHITECT

NORTH  
**A1** ROOF PLAN  
 SCALE: 1/8" = 1'-0"

NOTE: IF THIS SHEET IS LESS THAN 30" x 42" IT HAS BEEN REDUCED AND IS NOT TO SCALE.



**SHEET KEYNOTE LEGEND**

- 01 ILLUMINATED ELECTRIC SIGN (BY OWNER) (SED)
- 02 PROJECTING PTD STL CANOPY (SEE ROOF PLAN) W/ PTD STL SUPPORT RODS (WHERE SHOWN)
- 03 PREFINISHED GSM COPING W/ STANDING OR SOLDERED SEAMS (SLOPED TOWARDS ROOF)
- 04 WALL MTD LIGHT FIXTURE (SED)
- 05 ARTICULATED CORNICE W/ PTD CEMENT PLASTER / STUCCO FINISH
- 06 PAINTED CEMENT PLASTER / STUCCO
- 07 PTD MODULAR CMU VENEER
- 08 FIXED ALUM STOREFRONT W/ INSUL GLASS
- 09 AUTOMATIC SLIDING ENTRY AND EMERGENCY EGRESS DOORS (DBL SF ENTRY @ PAD SITES)
- 10 OVERHEAD ROLL-UP DOOR
- 11 PTD HM STEEL DOOR
- 12 1/4" PREFAB ALUM PLASTER / STUCCO REVEAL
- 13 PTD STL GUARDRAIL @ LOADING DOCK
- 14 PTD STUCCO PILASTER/COLUMN BASE (TYP) PATTERN/COLOR: TBD BY ARCHITECT
- 15 PTD STL (CONC FILLED) BOLLARD (TYP) (WHERE SHOWN / SEE SITE PLAN) (SCD)
- 16 12" FACADE WALL AREA @ MAIN FACADE: SUPERMARKET GLAZING IS @ 41.3% > 40% RECD
- 17 WALL MOUNTED LANDSCAPE TRELLIS (SLD) (W/ PLANTING BED BELOW - SEE SITE PLAN)
- 18 MECHANICAL UNIT (BEYOND)
- 19 WALL MTD TENANT SIGNAGE
- 20 ARCHITECTURAL WALL TREATMENT: METAL TUBES W/ PTD STUCCO BEHIND
- 21 PTD FIBER CEMENT SIDING (PATTERN TBD)
- 22 METAL PANEL SIDING (PATTERN TBD)
- 23 19" FACADE WALL AREA @ MAIN FACADE: PAD 'A' GLAZING IS @ 51% > 40% RECD
- 24 20" FACADE WALL AREA @ MAIN FACADE: PAD 'B' GLAZING IS @ 49% > 40% RECD
- 25 ROOF ACCESS LADDER (WHERE SHOWN) (W/ LOCKING MECHANISM)

**MATERIALS LEGEND**

- SUPERMARKET BUILDING:**
- CP-01 PAINTED CEMENT PLASTER WITH ACRYLIC TOP COAT OVER EXP GAL MET LATH, OVER DRAINING BLDG PAPER & 1/2" TH "DENGLASS" SHEATHING. TEXTURE: "LIGHT SAND FLOAT" COLOR: AS SELECTED BY ARCHITECT
  - CP-02 PAINTED CEMENT PLASTER WITH ACRYLIC TOP COAT OVER EXP GAL MET LATH, OVER DRAINING BLDG PAPER & 1/2" TH "DENGLASS" SHEATHING. TEXTURE: "MEDIUM SAND FLOAT" COLOR: AS SELECTED BY ARCHITECT
  - CMU-01 8"x8"x16" NOMINAL SPLIT-FACE CMU BY: CASCADE BLOCK (BOD) PAINTED WHERE SHOWN COLOR: AS SELECTED BY ARCHITECT

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MARKER	PAINT NAME
P-5	MFR: SHERWIN-WILLIAMS "GO RED" (1402 SF)
P-6	MFR: SHERWIN-WILLIAMS "GO SHORELINE" (1402 SF)
P-7	MFR: SHERWIN-WILLIAMS "GO GRAY" (1402 SF)
P-8	MFR: SHERWIN-WILLIAMS "GO CHARCOAL" (1402 SF)

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 CHECKED BY: SRU  
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 PROJECT:

**GENERAL NOTES**

1. PROVIDE (2) 12" X 12" MOCK-UP OF EACH EACH PAINT AND CEMENT PLASTER COLOR AND TEXTURE FOR THE PROJECT.
2. PROVIDE (3) SAMPLES OF EXTERIOR FINISH MATERIALS IN COLORS SELECTED BY ARCHITECT.
3. PREPARE COMPLETE SHOP DRAWINGS FOR ALL METAL ROOFING, SOFFIT PANELS, GUTTERS, FLASHING AND INSULATED METAL PANEL SYSTEMS SHOWING ALL NECESSARY COMPONENTS FOR A COMPLETE INSTALLATION.
4. COORDINATE SIGNAGE INSTALLATION REQUIREMENTS, INCLUDING ELECT POWER, STRUCTURAL SUPPORT AND RELATED REQUIREMENTS W/ OWNER'S SIGNAGE CONTRACTOR.
5. SIGNAGE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PREPARATION OF SIGNAGE PERMIT SUBMITTAL DOCUMENTS FOR COUNTY APPROVAL AND SHALL OBTAIN ALL REQUIRED PERMITS, APPROVALS AND INSPECTIONS FOR SIGNAGE INSTALLATION.

DESIGN-BUILDER:

**SB JAMES**  
 CONSTRUCTION MANAGEMENT  
 8425 Agate Road White City, OR 97503 CCB #167945 (541) 626-5668  
 ARCHITECT:  
**SAMUEL UCCELLO, AIA, NCARB**  
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 PROJECT:

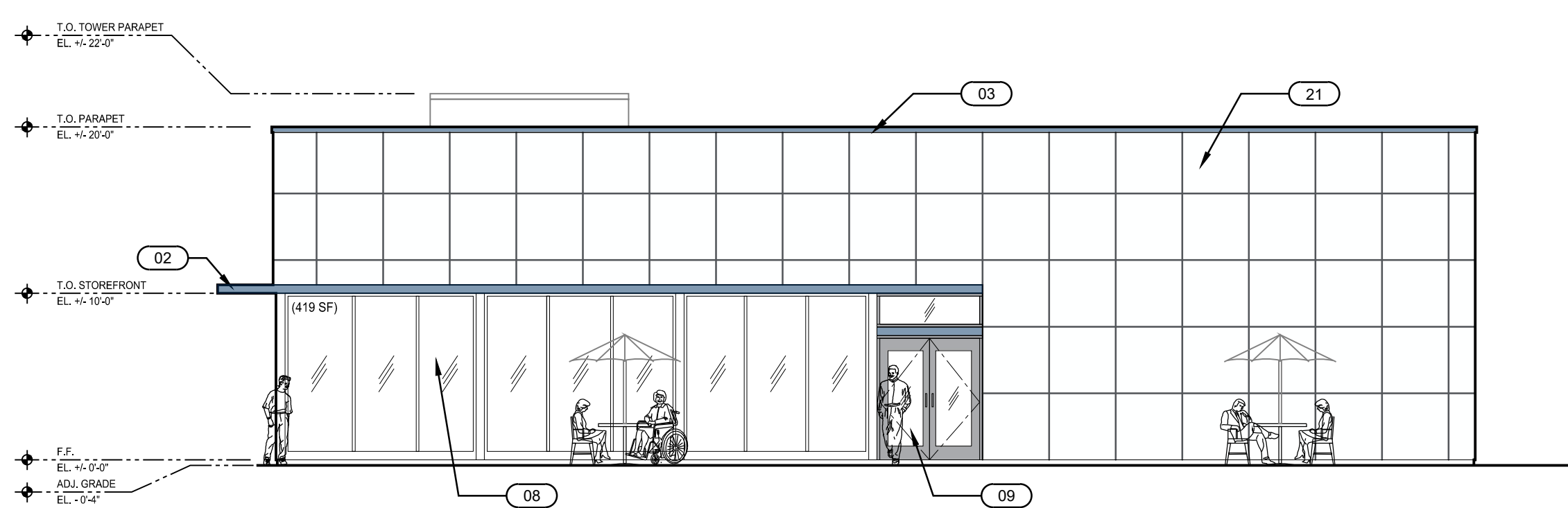
**COMMERCIAL DEVELOPMENT**

**CENTRAL POINT, OR (SPAR SUBMITTAL)**

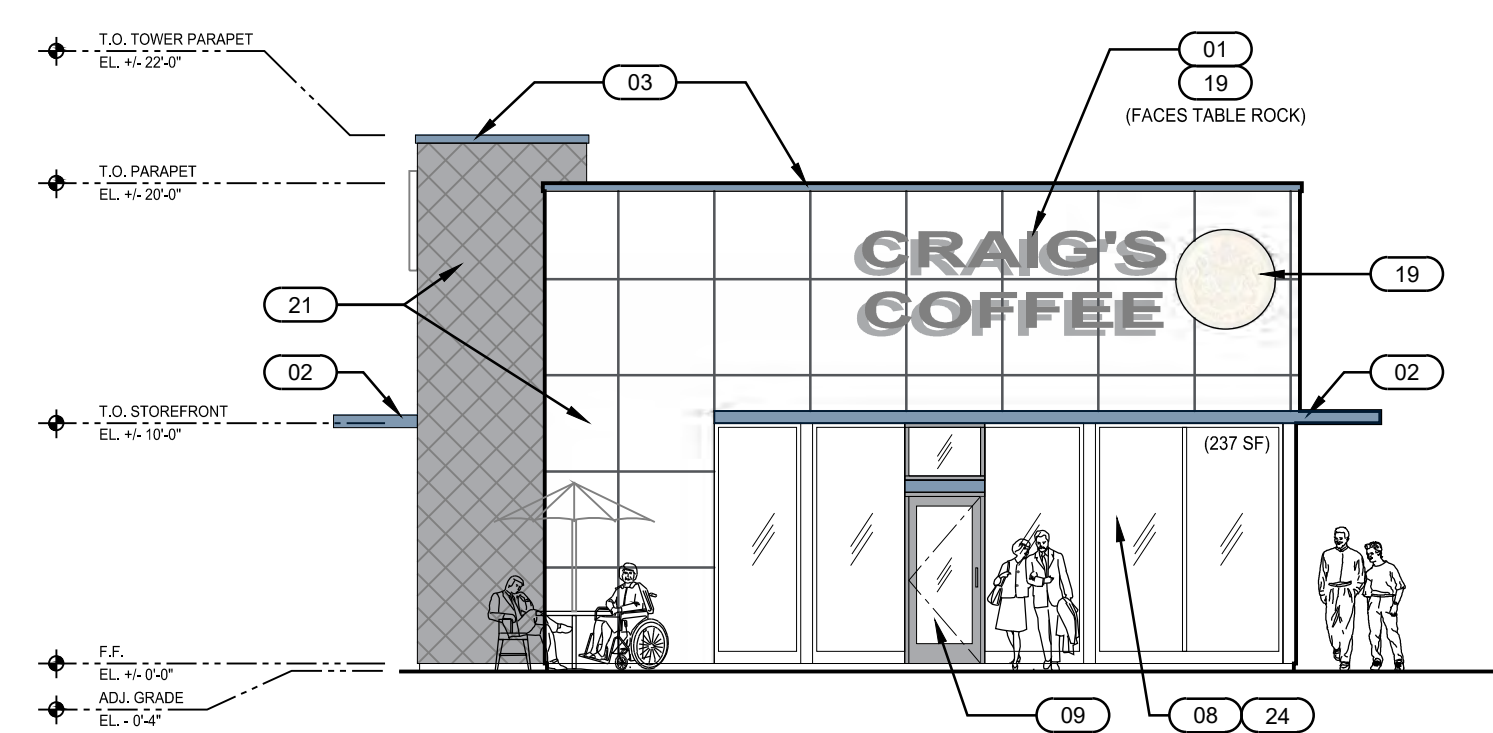
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**EXTERIOR BUILDING ELEVATIONS (SUPERMARKET)**

SHEET NO.:  
**A-201**

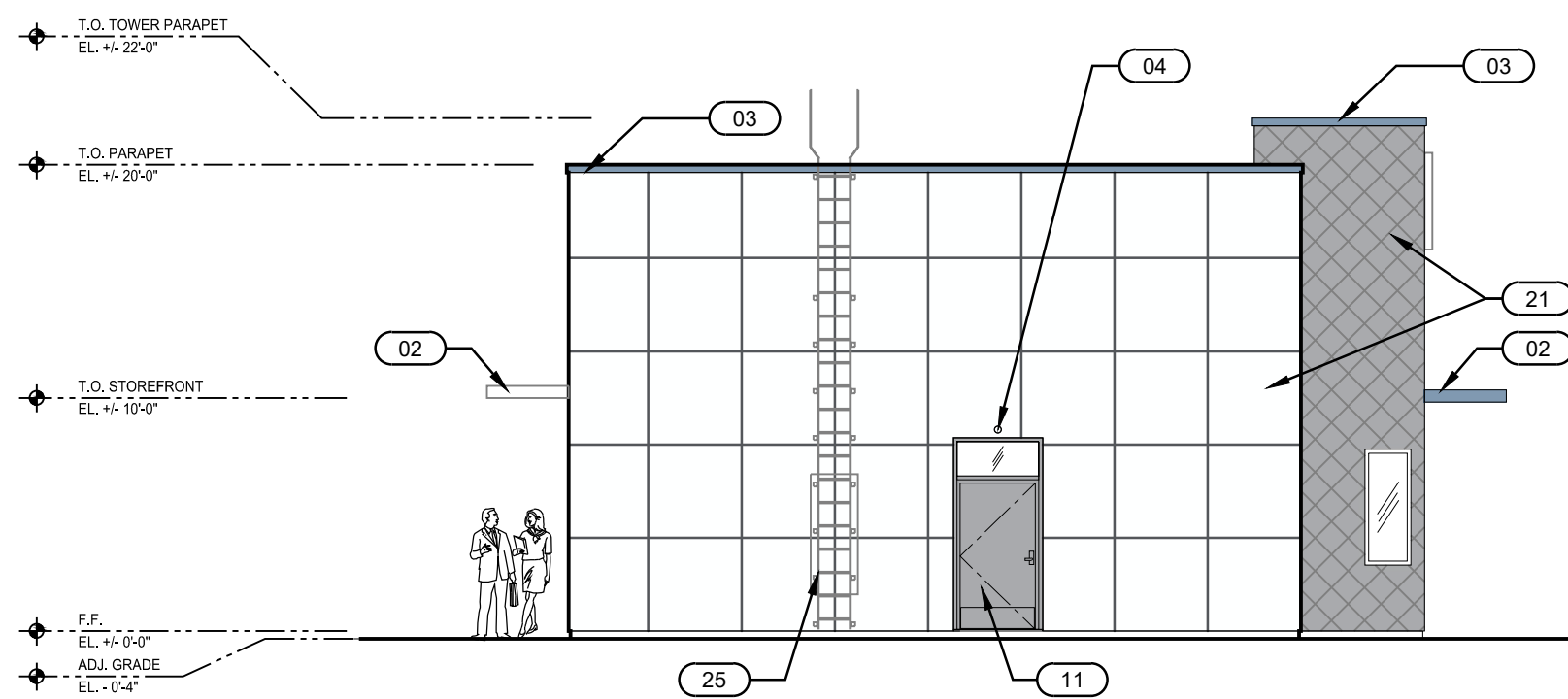
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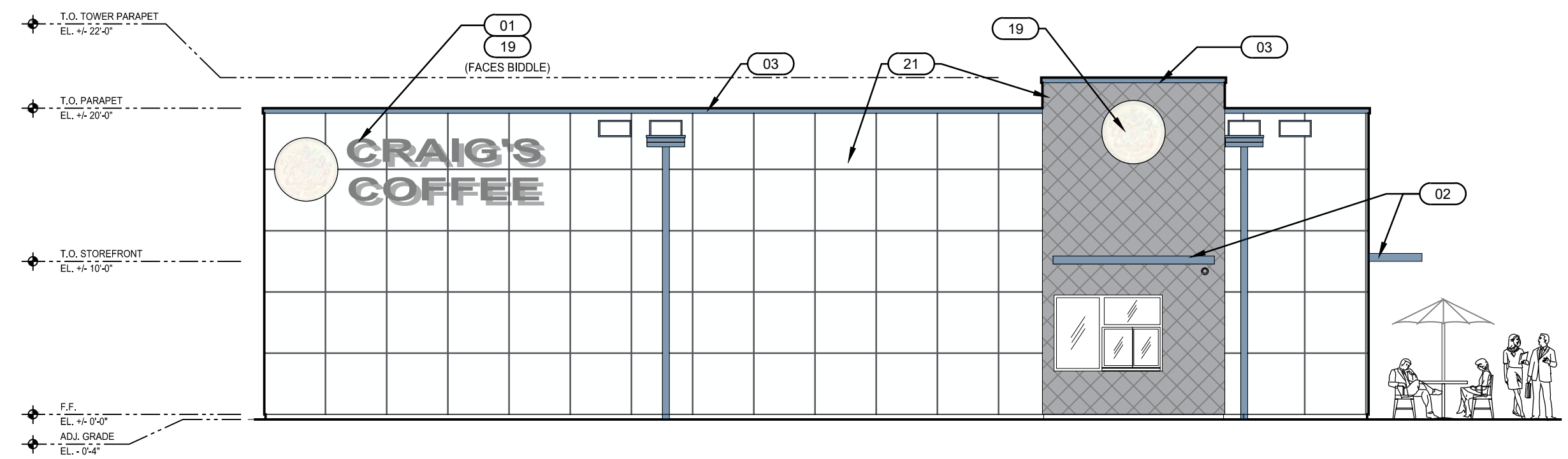
**B3** PAD 'B': SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



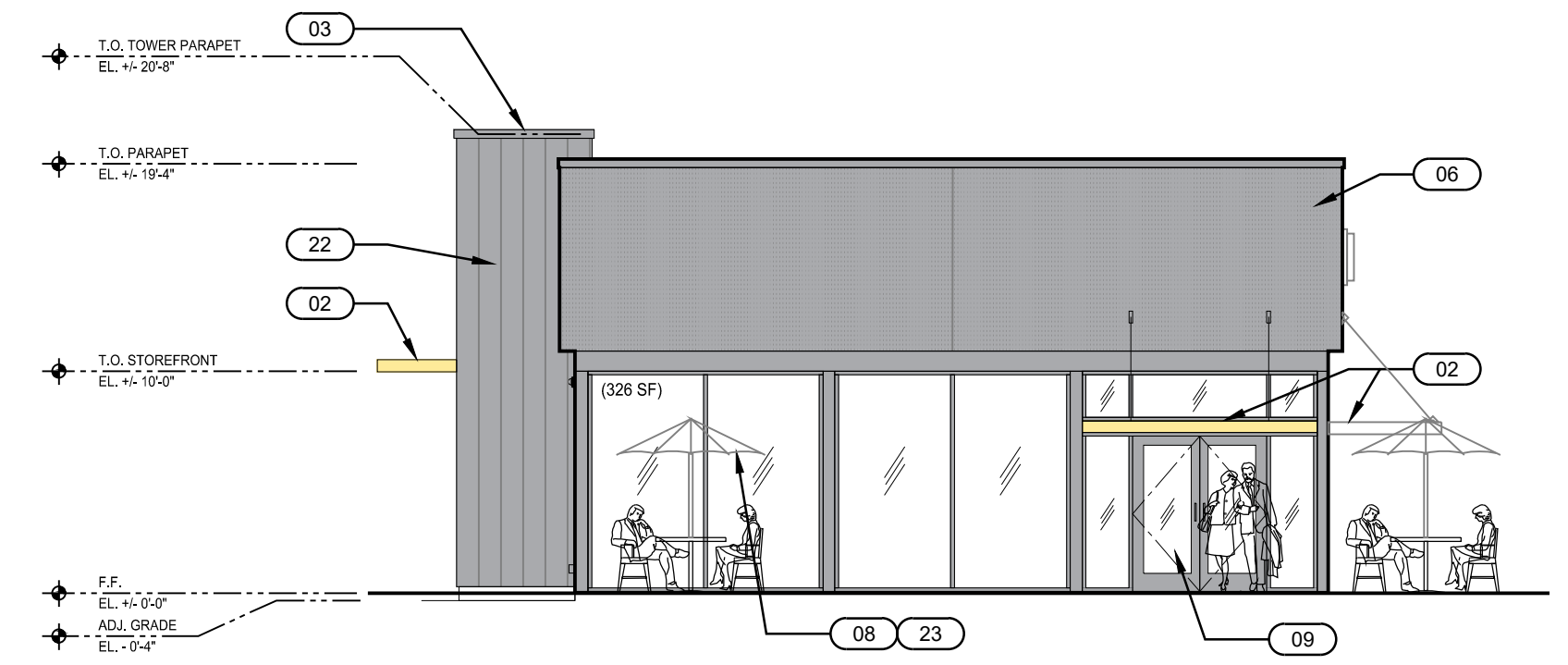
**B4** PAD 'B': WEST ELEVATION  
SCALE: 1/8" = 1'-0"



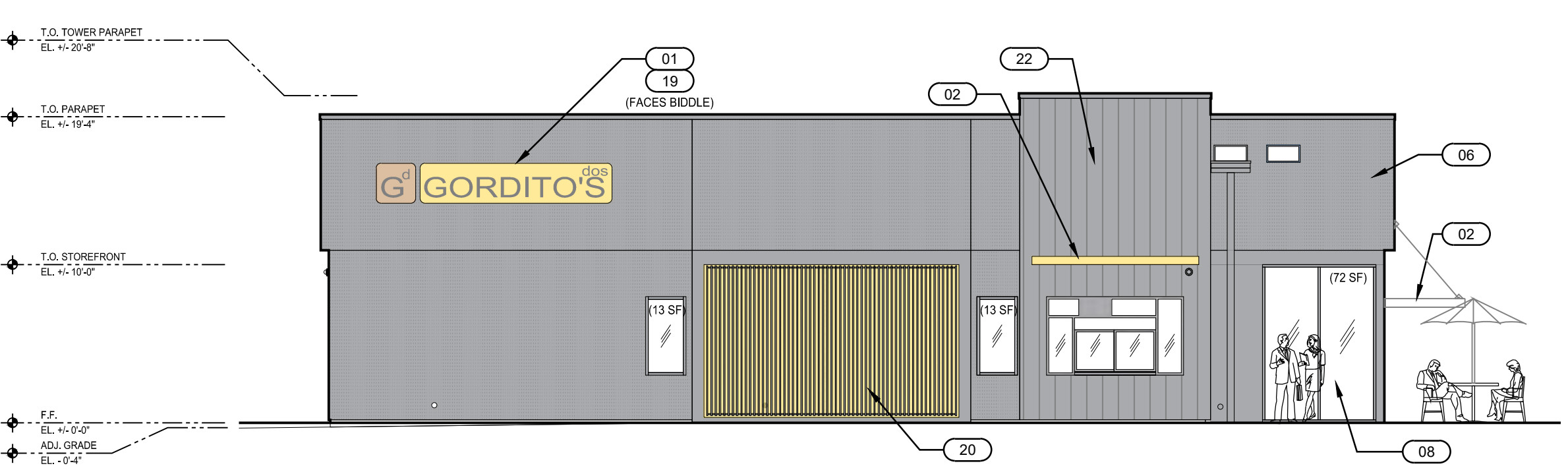
**B1** PAD 'B': EAST ELEVATION  
SCALE: 1/8" = 1'-0"



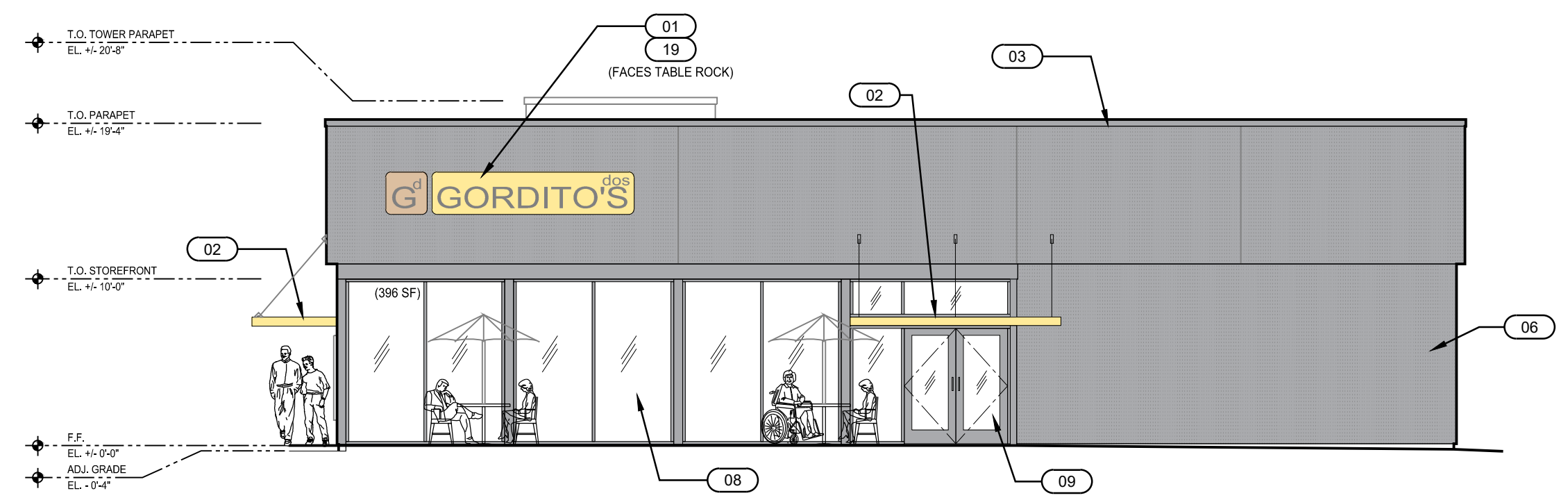
**B2** PAD 'B': NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



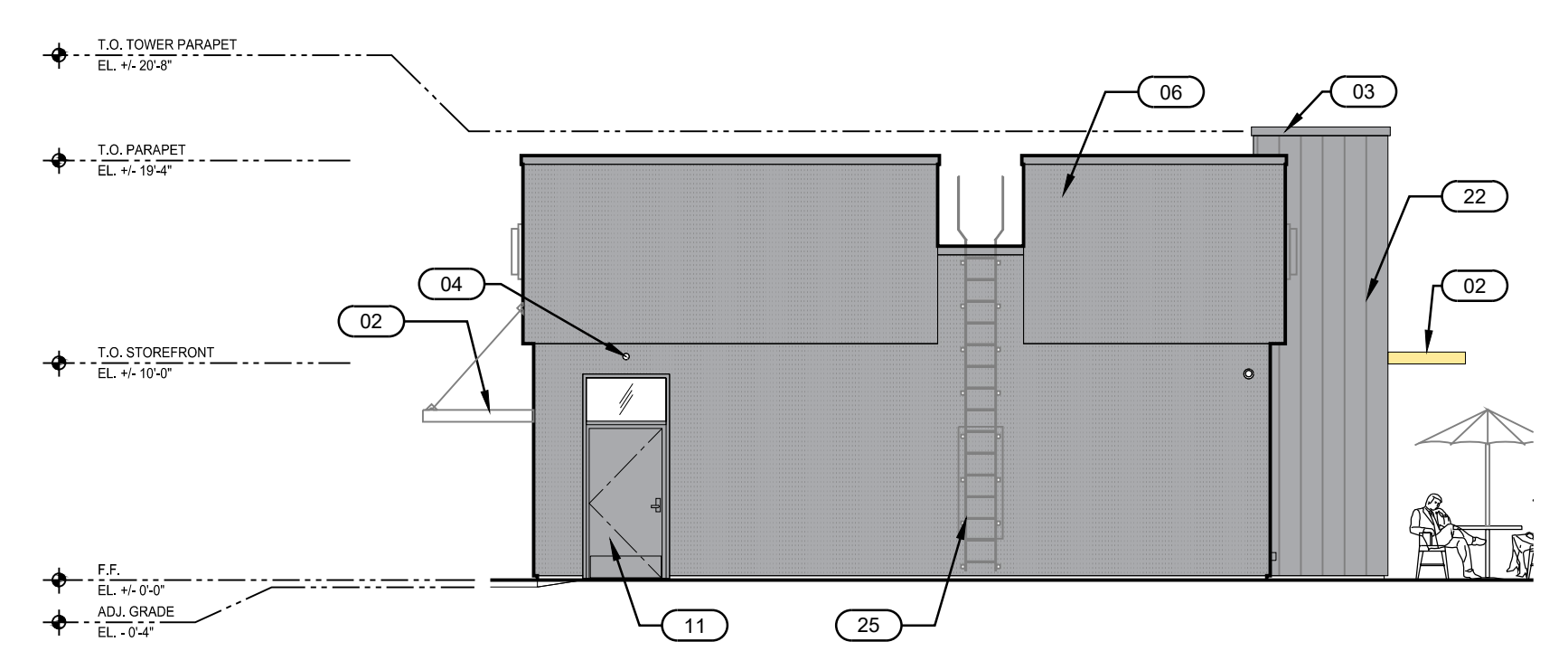
**A3** PAD 'A': SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



**A4** PAD 'A': WEST ELEVATION  
SCALE: 1/8" = 1'-0"



**A1** PAD 'A': EAST ELEVATION  
SCALE: 1/8" = 1'-0"



**A2** PAD 'A': NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

**SHEET KEYNOTE LEGEND**

- 01 ILLUMINATED ELECTRIC SIGN (BY OWNER) (SED)
- 02 PROJECTING PTD STL CANOPY (SEE ROOF PLAN) W/ PTD STL SUPPORT RODS (WHERE SHOWN)
- 03 PREFINISHED GSM COPING W/ STANDING OR SOLDERED SEAMS (SLOPED TOWARDS ROOF)
- 04 WALL MTD LIGHT FIXTURE (SED)
- 05 ARTICULATED CORNICE W/ PTD CEMENT PLASTER / STUCCO FINISH
- 06 PAINTED CEMENT PLASTER / STUCCO
- 07 PTD MODULAR CMU VENEER
- 08 FIXED ALUM STOREFRONT W/ INSUL GLASS
- 09 AUTOMATIC SLIDING ENTRY AND EMERGENCY EGRESS DOORS (DBL SF ENTRY @ PAD SITES)
- 10 OVERHEAD ROLL-UP DOOR
- 11 PTD HM STEEL DOOR
- 12 1/4" PREFAB ALUM PLASTER / STUCCO REVEAL
- 13 PTD STL GUARDRAIL @ LOADING DOCK
- 14 PTD STUCCO PILASTER/COLUMN BASE (TYP) PATTERN/COLOR: TBD BY ARCHITECT
- 15 PTD STL (CONC FILLED) BOLLARD (TYP) (WHERE SHOWN / SEE SITE PLAN) (SCD)
- 16 12" FACADE WALL AREA @ MAIN FACADE: SUPERMARKET GLAZING IS @ 41.3% > 40% REQ'D
- 17 WALL MOUNTED LANDSCAPE TRELLIS (SLD) (W/ PLANTING BED BELOW - SEE SITE PLAN)
- 18 MECHANICAL UNIT (BEYOND)
- 19 WALL MTD TENANT SIGNAGE
- 20 ARCHITECTURAL WALL TREATMENT: METAL TUBES W/ PTD STUCCO BEHIND
- 21 PTD FIBER CEMENT SIDING (PATTERN TBD)
- 22 METAL PANEL SIDING (PATTERN TBD)
- 23 19" FACADE WALL AREA @ MAIN FACADE: PAD 'A' GLAZING IS @ 51% > 40% REQ'D
- 24 20" FACADE WALL AREA @ MAIN FACADE: PAD 'B' GLAZING IS @ 49% > 40% REQ'D
- 25 ROOF ACCESS LADDER (WHERE SHOWN) (W/ LOCKING MECHANISM)

**DESIGN-BUILDER:**

**SB JAMES**  
CONSTRUCTION MANAGEMENT  
8425 Agate Road White City, OR 97503 CCB #167945 (541) 626-5668  
**ARCHITECT:**  
**SAMUEL UCCELLO, AIA, NCARB**  
S + B James Construction Management  
Tel: (541) 826-5668  
Fax: (541) 826-5536  
E-mail: samuelucello@sbjames.com

**CONSULTANT:**

**STAMP:**

PRELIMINARY

Issued: 06-09-2023

PRINT DATE: 6/9/2023 3:35 PM

**OWNER:**  
CYPRESS EQUITIES

8144 WALNUT HILL LANE, SUITE 1200  
DALLAS, TX 75231  
CONTACT: COLEMAN GLASS, VP  
PH: (214) 450-8508

**PROJECT ADDRESS:**  
SUPERMARKET  
4501 BIDDLE ROAD  
CENTRAL POINT, OREGON 97502

REVISIONS		
MARKER	DATE	DESCRIPTION
△	05/03/2023	PRE-APP SUBMITTAL
△	06/09/2023	SPAR SUBMITTAL
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SBJ PROJECT NO.: M23-5670  
DRAWN BY: JCS / BGW  
CHECKED BY: SRU  
PROJECT DATE: 03/01/2023  
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S+B JAMES CONSTRUCTION MANAGEMENT

**GENERAL NOTES**

1. PROVIDE (2) 12" X 12" MOCK-UP OF EACH EACH PAINT AND CEMENT PLASTER COLOR AND TEXTURE FOR THE PROJECT.
2. PROVIDE (3) SAMPLES OF EXTERIOR FINISH MATERIALS IN COLORS SELECTED BY ARCHITECT.
3. PREPARE COMPLETE SHOP DRAWINGS FOR ALL METAL ROOFING, SOFFIT PANELS, GUTTERS, FLASHING AND INSULATED METAL PANEL SYSTEMS SHOWING ALL NECESSARY COMPONENTS FOR A COMPLETE INSTALLATION.
4. COORDINATE SIGNAGE INSTALLATION REQUIREMENTS, INCLUDING ELECT POWER, STRUCTURAL SUPPORT AND RELATED REQUIREMENTS W/ OWNER'S SIGNAGE CONTRACTOR.
5. SIGNAGE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PREPARATION OF SIGNAGE PERMIT SUBMITTAL DOCUMENTS FOR COUNTY APPROVAL AND SHALL OBTAIN ALL REQUIRED PERMITS, APPROVALS AND INSPECTIONS FOR SIGNAGE INSTALLATION.

**SHEET TITLE:**  
**EXTERIOR BUILDING ELEVATIONS (PAD 'A' & PAD 'B')**

**SHEET NO.:**  
**A-202**

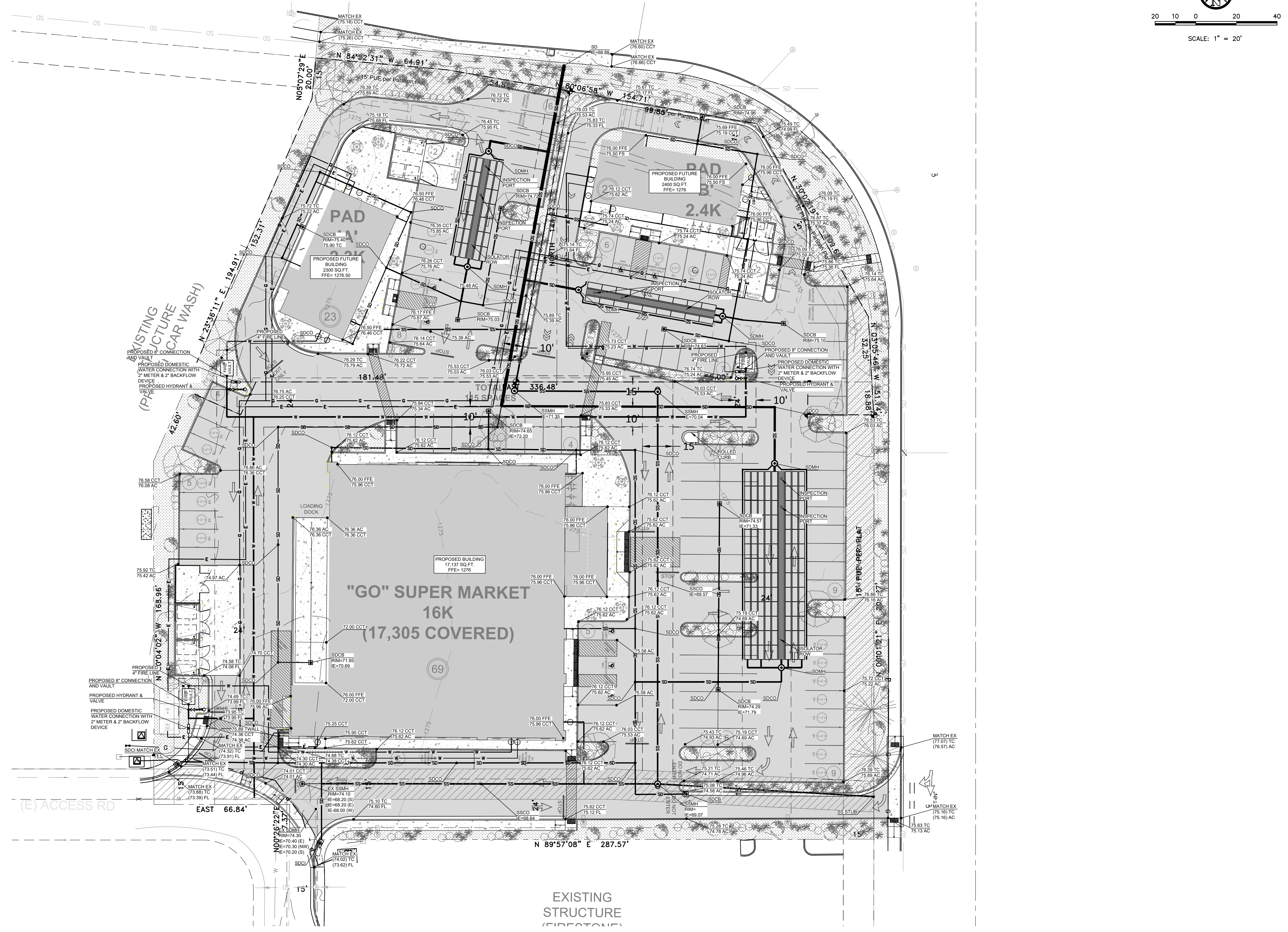
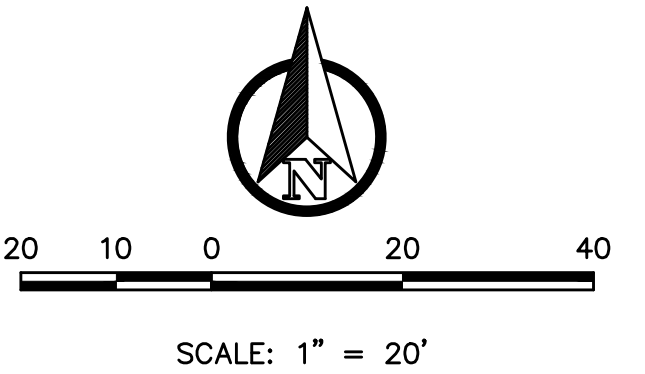
REVISIONS		
MARKER	DATE	DESCRIPTION
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▲	06/06/2023	SPAR SUBMITTAL
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SBJ PROJECT NO.: M23-5670  
 DRAWN BY:  
 CHECKED BY:  
 PROJECT DATE:  
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 PROJECT:

**COMMERCIAL DEVELOPMENT**  
 CENTRAL POINT, OR  
 (SPAR SUBMITTAL)

SHEET TITLE:  
**PRELIMINARY SITE UTILITIES AND DRAINAGE**

SHEET NO.:  
**C1**



**CALL BEFORE YOU DIG**  
 1-800-332-2344  
 48 HOURS BEFORE BEGINNING EXCAVATION  
 OREGON LAW REQUIRES YOU TO FOLLOW RULES  
 ADOPTED BY THE OREGON UTILITY NOTIFICATION  
 CENTER. THOSE RULES ARE SET FORTH IN OAR  
 862-001-0010 THROUGH OAR 862-001-0090. YOU MAY  
 OBTAIN COPIES OF THE RULES BY CALLING THE CENTER  
 AT 503-232-1987

**UTILITY NOTES:**

1. INSTALL 2" DOMESTIC WATER SERVICE LINES AND METERS. BACK FLOWS WILL BE CONNECTED TO NEW 6" MAIN WHICH CONNECTS TO EXISTING 8" MAIN IN PRIVATE DRIVE. ALL 3 SITES WILL HAVE A 4" FIRE LINE AND VAULTS ALONG WITH HYDRANTS INSTALLED TO ALLOW FOR A VARIETY OF DIFFERENT COMMERCIAL FACILITIES.
2. A NEW 6" SEWER LINE WILL BE CONSTRUCTED CONNECTING TO AN EXISTING SANITARY SEWER STUB OFF PRIVATE ROAD.
3. ELECTRIC SERVICE FOR BUILDING WILL COME FROM EXISTING ELECTRIC CONDUIT LOCATED ON SOUTH WEST SIDE OF SITE. THE ELECTRIC LINES SHOWN ON SITE ARE STRICTLY SCHEMATIC AND SHOULD BE COORDINATED WITH A LICENSED MECHANICAL ENGINEER AND SERVICE PROVIDER FOR THE AREA.
4. TELEPHONE AND CATV UTILITIES ARE LOCATED ON SOUTH WEST SIDE OF SITE. CONNECTIONS TO THESE UTILITIES WILL BE COORDINATED WITH THE INDIVIDUAL SERVICE PROVIDER DURING THE FINAL PROJECT DESIGN PHASE.
5. GAS SERVICE WILL BE CONNECTED TO EXISTING GAS MAIN ON SOUTH WEST SIDE OF SITE, AND SHALL BE COORDINATED WITH AVISTA. GAS LINES SHOWN ARE STRICTLY SCHEMATIC AND SHOULD BE COORDINATED WITH AVISTA AND SITE CONTRACTOR.

**STORMWATER NOTES:**

1. STORM WATER QUALITY & DETENTION FOR THE NEW BUILDING WILL BE ROUTED TO ONSITE CHAMBER SYSTEMS AND THEN PIPED TO A NEW 18" STORM DRAIN LINE THEN INTO AN EXISTING 36" SD PIPE ON NORTH SIDE OF SITE.
2. ROOF DRAINS FROM NEW BUILDINGS WILL BE PIPED INTO THE PROPOSED ONSITE SYSTEMS.

**LEGEND OF ABBREVIATIONS**

- (E) - EX EXISTING FEATURE
- (P) - PROPOSED FEATURE
- TC TOP OF CURB
- TW TOP OF WALL
- BW BOTTOM OF WALL
- FL FLOW LINE
- CB ASPHALT CATCH BASIN
- CI CURB INLET
- FS FINISH SURFACE
- FE FINISH FLOOR ELEVATION
- MH MANHOLE
- SS SANITARY SEWER
- W WATER
- SD STORM DRAIN

NOTE: IF THIS SHEET IS LESS THAN 30" x 42" IT HAS BEEN REDUCED AND IS NOT TO SCALE.



